

Wall luminaires with one sided light output

Housing: One piece die-cast aluminum with mounting holes for direct attachment to the wall over a 3 1/2" or 4" octagonal wiring box. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

Enclosure: One piece die-cast aluminum guard, secured by two stainless steel captive screws threaded into a stainless steel insert. Fully gasketed for weather tight operation using a molded silicone rubber gasket. Downward orientation only. Tempered frosted glass diffuser.

Electricals: 21.8W LED luminaire, 26 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI), add suffix K4 to order.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (B), White (WHT), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65

Weight: 4.2 lbs.

Luminaire Lumens: 857

Tested in accordance with LM-79-08



Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:



One-sided light output					
Lamp	A	B	C	D	E
22360	21.8W LED	12%	4%	4	

BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com
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BEGA

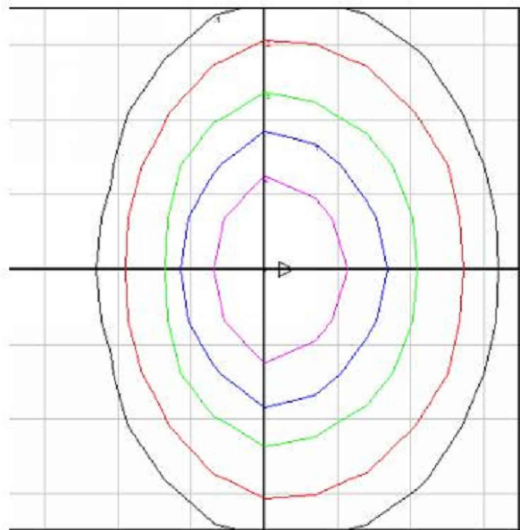
Photometric Filename: 22360.IES

TEST: L10130801
TEST LAB: LIGHT LABORATORY, INC.
DATE: 10/11/2013
LUMINAIRE: 22 360
LAMP: 21.8W LED

All results in accordance with IESNA LM-79-08

Characteristics

IES Classification	Type I
Longitudinal Classification	Very Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	667
Downward Total Efficiency	N.A.
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	28
Total Luminaire Watts	23.59
Ballast Factor	1.00
Upward Waste Light Ratio	0.00
Max. Cd	452.62 (0H, 5V)
Max. Cd (<90 Vert.)	452.62 (0H, 5V)
Max. Cd (At 90 Deg. Vert.)	0 (0.0% Lum)
Max. Cd (80 to <90 Deg. Vert.)	12.77 (1.9% Lum)
Cutoff Classification (deprecated)	N.A. (absolute)
R9 Value	15.03

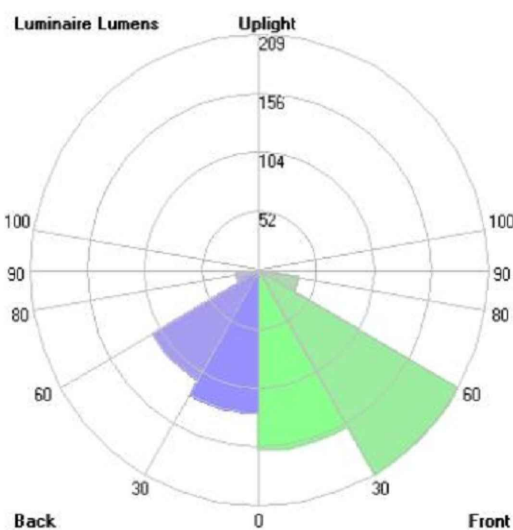


Mounting Height = 10 ft. Grid Spacing = 5 ft.

Lum. Classification System (LCS)

LCS Zone	Lumens	% Lamp	% Lum
FL(0-30)	159.6	N.A.	23.9
FM(30-60)	208.6	N.A.	31.3
FH(60-80)	36.5	N.A.	5.5
FV(80-90)	1.8	N.A.	0.3
BL(0-30)	126.5	N.A.	19.0
BM(30-60)	111.8	N.A.	16.8
BH(60-80)	21.1	N.A.	3.2
BV(80-90)	1.3	N.A.	0.2
UL(90-100)	0.0	N.A.	0.0
UH(100-180)	0.0	N.A.	0.0
Total	667.2	N.A.	100.0

BUG Rating B1-U0-G0

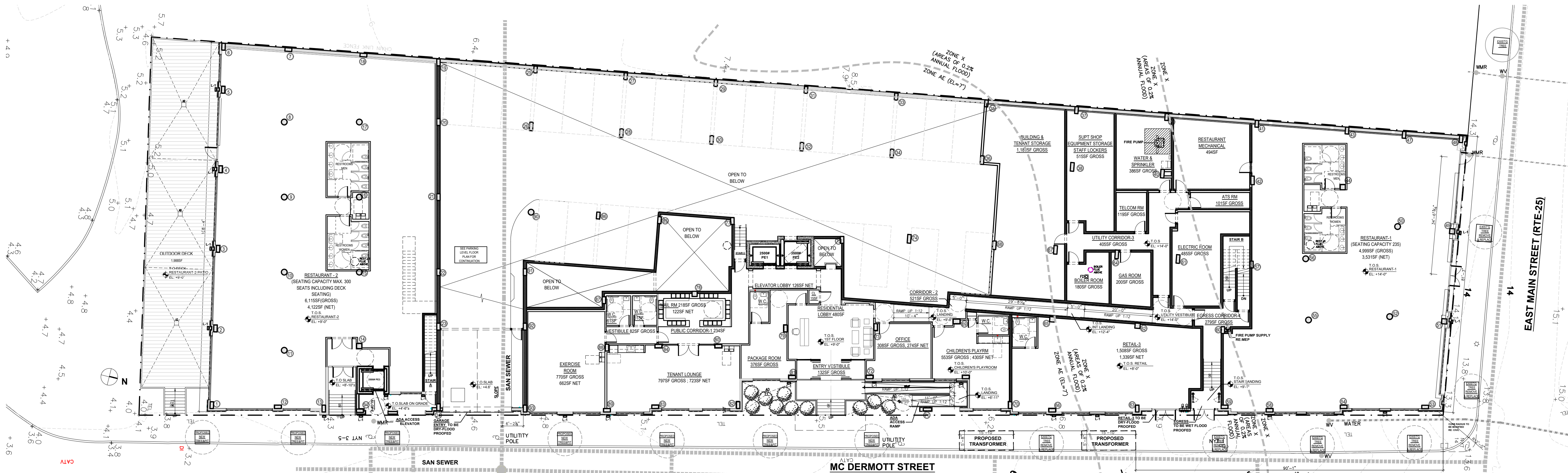


NOTES

1. EXTERIOR LIGHTING FIXTURES ARE TO BE MOUNTED AT 8'-6" ABOVE ADJACENT GRADE, ON MAIN STREET & MCDERMOTT AVE
2. EXTERIOR LIGHTING FIXTURES ARE TO BE MOUNTED AT 6'-0" ABOVE ADJACENT GRADE ON 2ND FLOOR TERRACES.

2 LIGHTING FIXTURE SPECIFICATIONS - L-1

SCALE: NTS



1 1ST FLOOR LIGHTING PLAN

SCALE: 1" = 16'-0"

Architect:

Stephen B. Jacobs Group, P.C.

381 Park Avenue South

New York, N.Y. 10016

212-421-3712

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Structural Engineer:

Wexler Associates

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Owner:

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Jericho, New York 11753

(516) 620-4530

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221 East Main Street
Riverhead, NY

Drawing Title:

1ST FLOOR LIGHTING PLAN

SEAL & SIGNATURE:

DATE: 09.27.16
PROJECT#: 1617
DRAWING SCALE: AS NOTED
DRAWING NO:

A-017.00

CAD REF:

G/1617_A-017 LIGHTING PLAN-REV-3.dwg

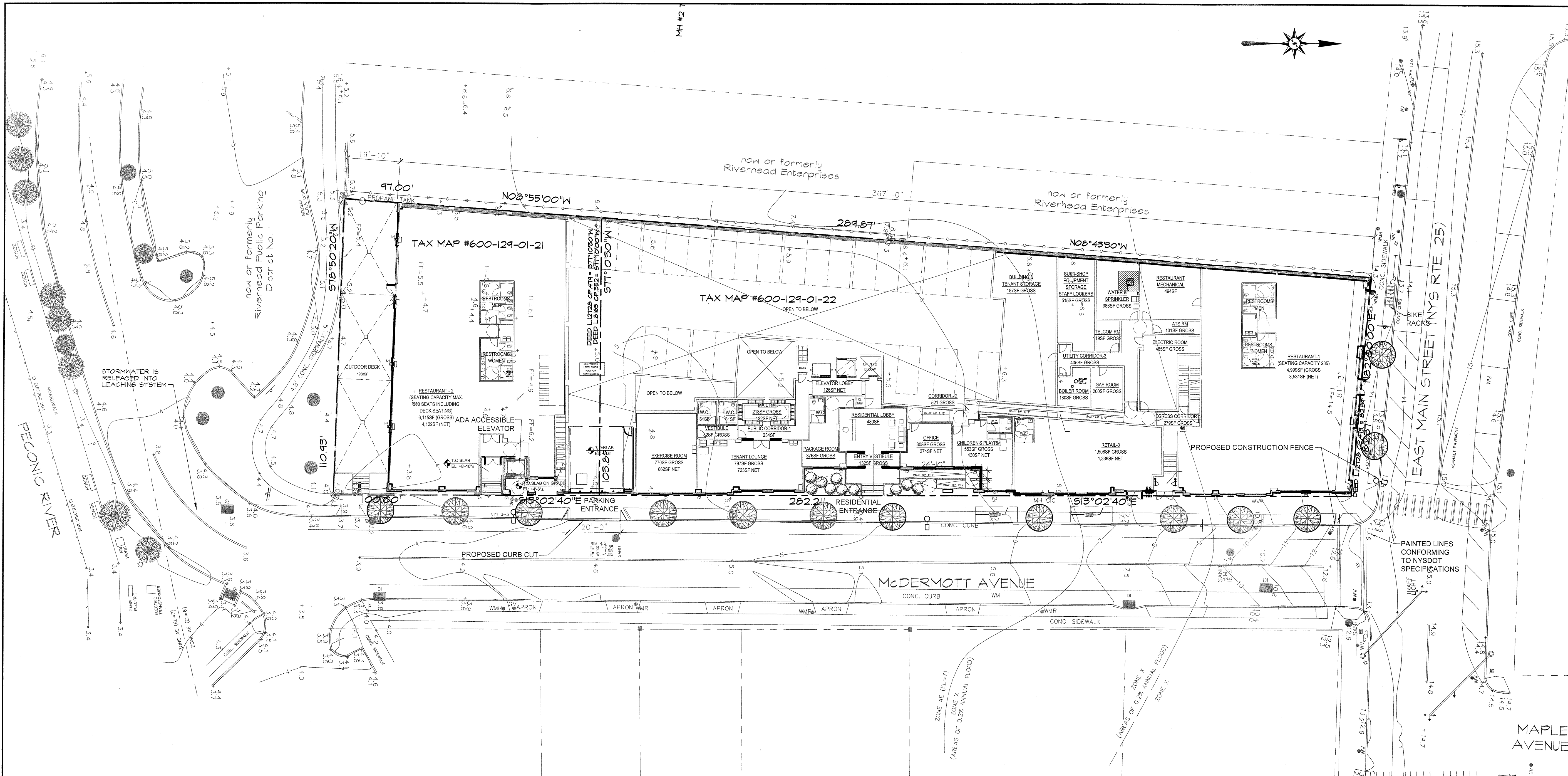
TOWN BOARD CERTIFICATION

This is to certify that this site plan has been approved by the Town Board of the Town

of Riverhead by Town Board Resolution number _____ dated _____

Signature of Town Supervisor _____

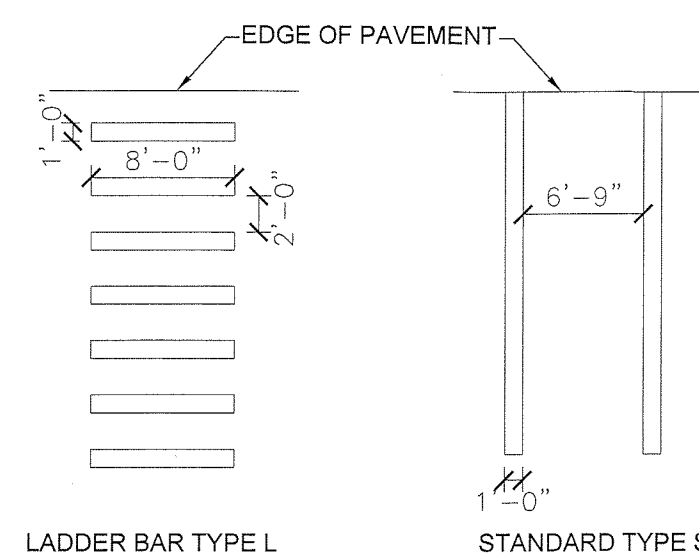
Date of signature _____



LEGEND

- | | | | |
|-----|---------------------|---|---------------------------|
| --- | PROPERTY LINE | ⊗ | WATER VALVE |
| --- | EXISTING CATV | ● | BOREHOLE |
| --- | EXISTING ELEC | ⬮ | PROPOSED FIRE HYDRANT |
| --- | EXISTING GAS | ⬮ | EXISTING FIRE HYDRANT |
| --- | EXISTING SEWER | ⬮ | EXISTING MANHOLE |
| --- | EXISTING STORMWATER | ⬮ | STREET LIGHT |
| --- | EXISTING TELEPHONE | ⬮ | STREET SIGN |
| --- | EXISTING WATER | ⬮ | UTILITY POLE |
| --- | PROPOSED GAS | ⬮ | UTILITY BOX |
| --- | PROPOSED SEWER | ⬮ | POLE MOUNTED STREET LIGHT |
| --- | PROPOSED WATER | ⬮ | PROPOSED TREE |
| --- | EXISTING CURB | ⬮ | PROPOSED BRICK |
| --- | PROPOSED CURB | ⬮ | |

CROSSWALK DETAILS CONFORMING TO NYS DOT SPECIFICATIONS



- NOTES:
- ALL CROSSWALK MARKINGS SHALL BE WHITE.
 - TYPE "L" CROSSWALKS SHALL HAVE THE LONGITUDINAL LINES PARALLEL TO THE LANE LINES.

RIVERHEAD APARTMENT COMPLEX (REVISED 05.22.2017)				
APARTMENT COUNT				
FLOOR	STUDIOS 410 - 520 SF # APTS	1BR 560 - 788 SF # APTS	2BR 875 - 1,334 SF # APTS	TOTALS
5TH	9	12	7	28
4TH	8	15	7	30
3RD	8	15	7	30
2ND	6	15	7	28
1ST	-	-	-	-
TOTAL	31	57	28	116

RIVERHEAD APARTMENT COMPLEX		
APARTMENT AREA RANGE		
0 - 600 SF	600 - 1,200 SF	1200 SF - >
35 APTS	80 APTS	1 APTS

*VARIANCE REQUIRED - PROPOSED STUDIOS RANGE FROM 414 S.F. TO 522 S.F.
MAX REQUIREMENT IS 450 S.F.

LOT COVERAGE (REVISED 05.11.17)	
LOT SIZE	= 37,168 SF
BUILDING FOOTPRINT	= 34,102 SF
LOT COVERAGE	= 91.7 %

F.A.R. CALCULATIONS	
LOT SIZE	= 37,168 SF
F.A.R.	= 3.19
MAXIMUM PERMITTED AREA	= 148,688 SF
PROPOSED AREA	= 118,758 SF

RIVERHEAD APARTMENT COMPLEX - BUILDING AREAS									
FLOOR	RES'L GROSS	BASEMENT	REST. AURANT 1	BLDG AMENITIES	REST. AURANT 2	RETAIL	MECH AREAS	OTHER	
ROOF				165					165
5TH FLOOR	24,780								24,780
4TH FLOOR	25,705								25,705
3RD FLOOR	25,705								25,705
2ND FLOOR	25,705								25,705
1ST FLOOR			6,115	4,095	5,000	1,508	3,410*	805*	20,933
PARKING LEVEL		20,995*							20,995
TOTAL	101,875	20,995*	6,115	4,260	5,000	1,508	3,410*	805*	143,968

SCDHS Water Resources REF # 17-0013

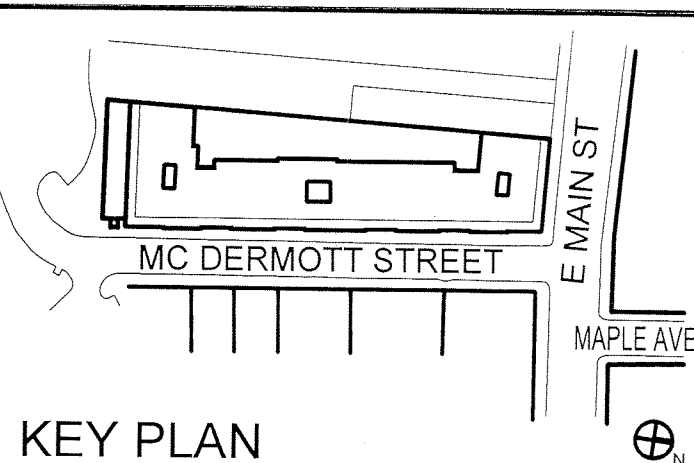
SCDHS REF # C06-17-0011

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Signature of Town Supervisor _____

Date of signature _____



KEY PLAN

07/27/17	DEIS SUBMISSION
06/27/17	SITE PLAN REVIEW 3RD SUBMISSION
02/17/17	SITE PLAN REVIEW 2ND SUBMISSION
12/19/16	SITE PLAN REVIEW

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© 2016

221 East Main Street
Riverhead, NY

Drawing Title:

1ST FLOOR PLAN

SEAL & SIGNATURE:

DATE: 09.27.16
PROJECT#: 1617
DRAWING SCALE: AS NOTED
DRAWING NO.:

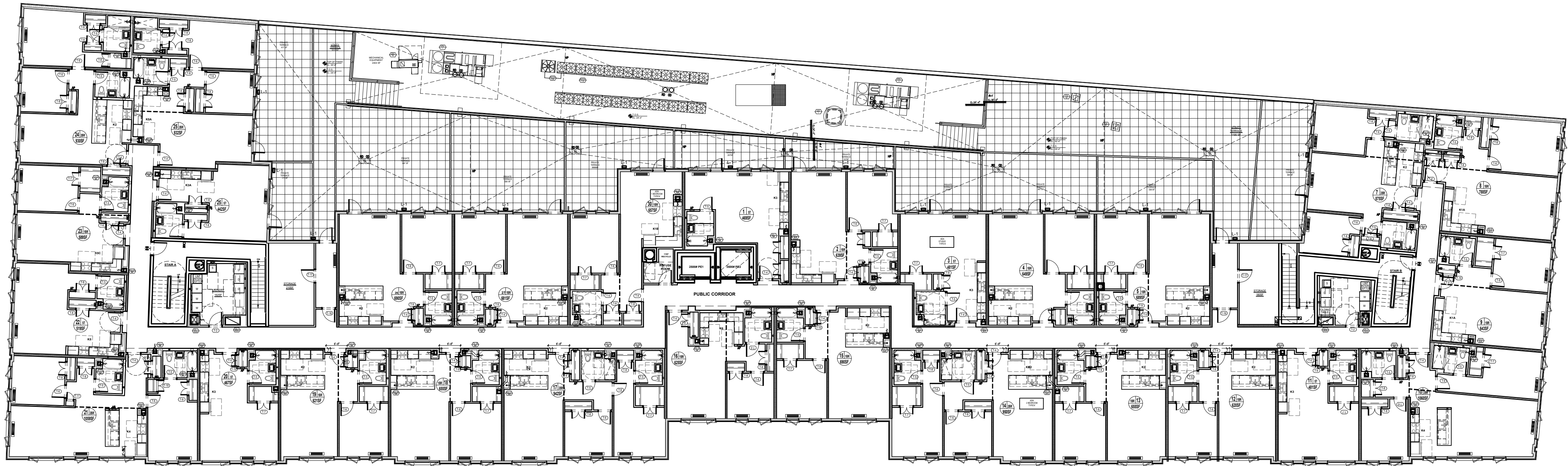
C-101.00

CAD REF:
C:\RES\48 SITE PLAN.dwg

1 1ST FLOOR ALIGNMENT
SCALE: 1" = 20'-0"



2 3RD - 4TH FLOOR PLAN
SCALE: 1" = 16'-0"



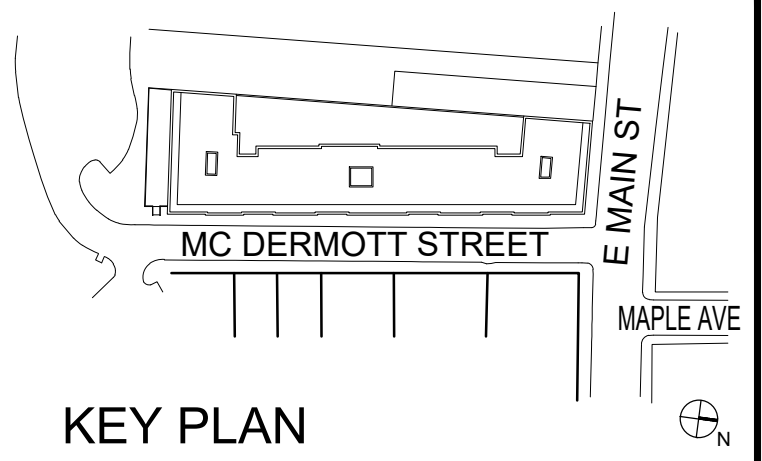
1 2ND FLOOR PLAN
SCALE: 1" = 16'-0"

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Signature of Town Supervisor _____

Date of signature _____



06/27/17	SITE PLAN REVIEW - 3RD SUBMISSION	
02/17/17	SITE PLAN REVIEW - 2ND SUBMISSION	
01/24/17	SPECIAL PERMIT	
12/19/16	SITE PLAN REVIEW	

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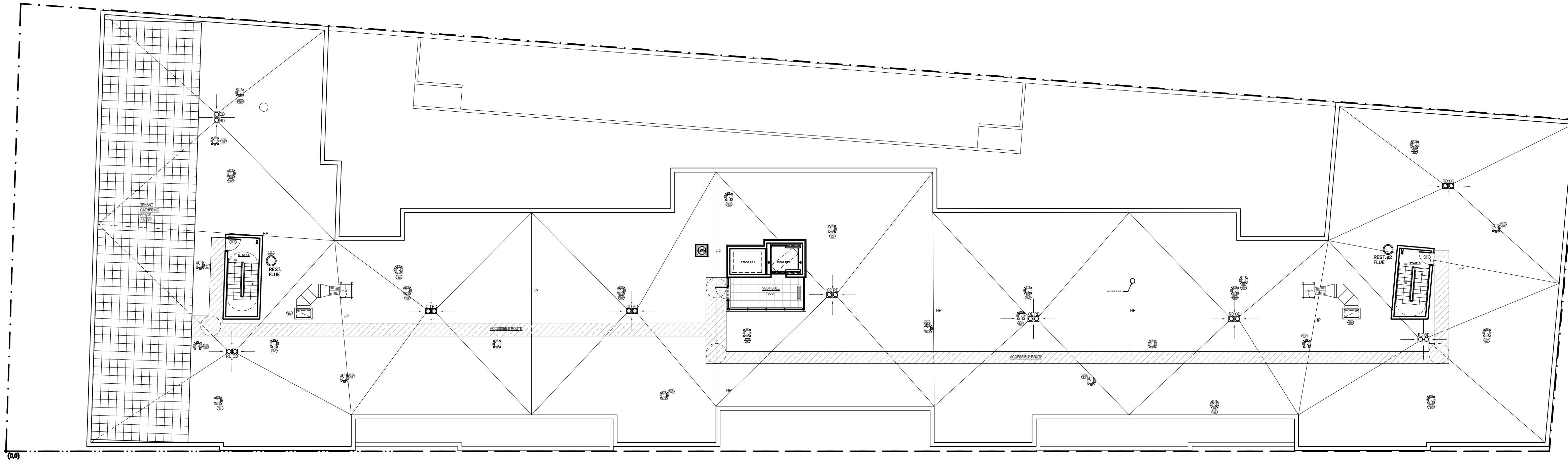
221 East Main Street
Riverhead, NY

Drawing Title:
**2ND FLOOR PLAN &
3RD-4TH FLOOR PLANS**

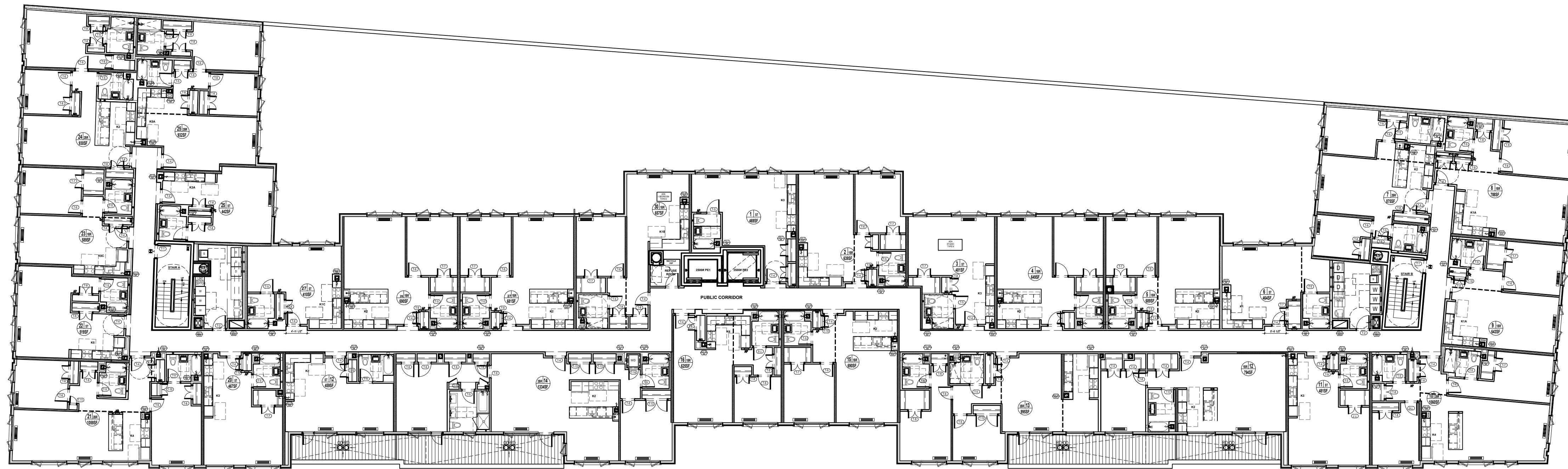
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DATE: 09.27.16
PROJECT#: 1617
DRAWING SCALE: AS NOTED
DRAWING NO: A-014.00

CAD REF:
6/1617_A-014 2ND, 3-4TH FLOOR PLANS-RE

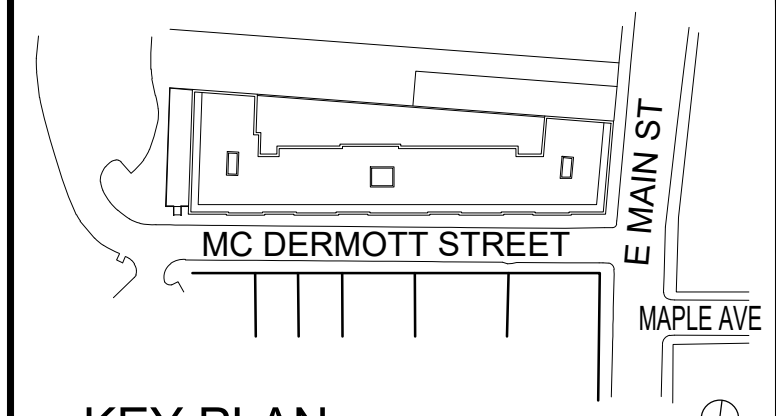


2 ROOF PLAN
SCALE: 1" = 16'-0"



1 5TH FLOOR PLAN
SCALE: 1" = 16'-0"

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Signature of Town Supervisor _____	
Date of signature _____	



KEY PLAN		
06/27/17	SITE PLAN REVIEW - 3RD SUBMISSION	
02/17/17	SITE PLAN REVIEW - 2ND SUBMISSION	
01/24/17	SPECIAL PERMIT	
12/19/16	SITE PLAN REVIEW	

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221 East Main Street
Riverhead, NY

Drawing Title:
5TH FLOOR PLAN & ROOF PLAN

SEAL & SIGNATURE:	DATE: 09.27.16
	PROJECT#: 1617
	DRAWING SCALE: AS NOTED
	DRAWING NO: A-015.00
CAD REF: 6/1617_A-015 5TH & ROOF PLAN-REV-3.dwg	

GENERAL CONSTRUCTION NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF RIVERHEAD, SUFFOLK COUNTY, N.Y.S. AND N.Y.S.D.O.T. AS SPECIFIED, LATEST REVISIONS.
2. GALLI ENGINEERING, P.C. SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR THE SAFETY OF THE PUBLIC OR THE EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPROVED DOCUMENTS.
3. ALL EXISTING STRUCTURES TO BE REMOVED AND BACKFILLED. ALL BACKFILL MATERIAL TO BE SELECT GRANULAR FILL AND COMPACTED TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY MODIFIED PROCTOR TEST
4. LOCATION OF THE EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT FROM START TO FINISH.
6. INSTALLATION OF THE ELECTRIC AND GAS SERVICE AND POLE RELOCATION IS THE RESPONSIBILITY OF CONTRACTOR, BY WHICH ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LIPA AND KEYSpan.
7. INSTALLATION OF THE TELEPHONE SERVICE IS THE RESPONSIBILITY OF THE CONTRACTOR, BY WHICH ALL THE WORK SHALL CONFORM TO THE REQUIREMENTS OF VERIZON.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY PERMITS, INSTALLATIONS AND PERMIT INSPECTIONS.
9. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL PRECONSTRUCTION REQUIREMENTS FOR THE SANITARY SYSTEM FROM ALL AGENCIES.
10. THE CONTRACTOR IS RESPONSIBLE FOR ALL SIGN PERMITS AND FOR THE INSTALLATION OF SIGNS.
11. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL DEMOLITION PERMITS NECESSARY TO REMOVE ANY EXCAVATED OR DEMOLISHED MATERIALS.
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE CLEARING AND GRUBBING PERMITS.
13. UNSUITABLE MATERIAL AS DEFINED IN THE N.Y.S.D.O.T. SPECIFICATIONS UNDER PAVEMENT, WALKS AND CONCRETE SLABS SHALL BE REMOVED AND REPLACED WITH SELECT GRANULAR MATERIAL.
14. SELECT GRANULAR MATERIAL SHALL BE DEFINED IN SECTION 203 OF THE N.Y.S.D.O.T. STANDARD SPECIFICATIONS.
15. COMPACTION SHALL CONFORM TO N.Y.S.D.O.T. SECTION 203.
16. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, TOWN AND STATE LAWS AND APPLICABLE CODES.
17. KNOCKOUT PANELS FOR DRAINAGE PIPES SHALL CONFORM TO THE TOWN OF RIVERHEAD STANDARD DETAILS AND SPECIFICATIONS.
18. ALL DRAINAGE LEACHING POOLS SHALL BE PRECAST WITH PRECAST OPENINGS.
19. ALL LIGHT POLES, LIGHTING FIXTURES CONFIGURATIONS AND COLORS SHALL BE APPROVED BY THE TOWN OF RIVERHEAD PRIOR TO INSTALLATION.
20. TEMPORARY FENCING IS TO BE INSPECTED PRIOR TO ANY CONSTRUCTION OR DISTURBANCE ON SITE.
21. ALL SIDEWALK CURB RAMPS, PARKING SPACES, AND ACCESS ISLES SHALL BE IN COMPLIANCE WITH CHAPTER 301 OF RIVERHEAD TOWN CODE IN ADDITION TO THE LATEST BUILDING CODE OF NEW YORK STATE AND ICC/ANSI A117.1-2003 STANDARDS, UNLESS OTHERWISE NOTED.
22. ALL CONCRETE CURBS, SIDEWALKS AND DRAINAGE STRUCTURES SHALL CONFORM TO THE TOWN OF RIVERHEAD PLANNING BOARD STANDARD DETAILS AND SPECIFICATIONS.
23. THE TOWN OF RIVERHEAD ENGINEERING INSPECTOR SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ALL CONSTRUCTION.
24. LOCATION AND GRADES FOR CURBS AND WALKS TO BE VERIFIED WITH THE TOWN OF RIVERHEAD ENGINEERING INSPECTOR PRIOR TO CONSTRUCTION.
25. ALL TRAFFIC CONTROL DEVICES, SIGNS, SIGNALS AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE GUIDELINES OF FEDERAL HIGHWAY ADMINISTRATION(FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ANY NEW YORK STATE SUPPLEMENT TO SUCH, LATEST EDITIONS AND AS DIRECTED BY THE TOWN OF RIVERHEAD DEPARTMENT OF TRANSPORTATION AND TRAFFIC SAFETY.
26. THE CONTRACTOR PERFORMING ANY AND ALL TRAFFIC CONTROL SHALL NOTIFY THE TOWN OF RIVERHEAD AND THE N.Y.S.D.O.T. 48 HOURS IN ADVANCE OF BEGINNING SUCH WORK ALONG A TOWN OR STATE ROAD.
27. ALL ROADWAY PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, SUFFOLK COUNTY SPECIFICATIONS, UNLESS OTHERWISE NOTED.
28. STOPLINE SIGHT DISTANCE SHALL BE MAINTAINED AT ALL INTERSECTIONS IN ACCORDANCE WITH AASHTO REQUIREMENTS.
29. ALL IMPROVEMENTS SHALL BE IN COMPLIANCE WITH THE LATEST RIVERHEAD PLANNING BOARD SUBDIVISION REGULATIONS AND SITE IMPROVEMENT SPECIFICATIONS.
30. PRIOR TO THE COMMENCEMENT OF ANY WORK WITHIN THE TOWN OF RIVERHEAD RIGHT-OF-WAY THE CONTRACTOR MUST OBTAIN A WORK PERMIT FROM THE TOWN OF RIVERHEAD HIGHWAY DEPARTMENT.
31. ANY UTILITIES INCLUDING POLES REQUIRED TO BE RELOCATED DUE TO THE INSTALLATION OF THE REQUIRED IMPROVEMENTS SHALL BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
32. ALL TRAFFIC ROAD MARKINGS, ROAD SIGNS, AND TRAFFIC SIGNALS THAT MAY HAVE BEEN MOVED OR DAMAGED IN THE PROCESS OF CONSTRUCTION SHALL BE RESTORED AT THE APPLICANT'S EXPENSE TO AT LEAST THE SAME QUALITY AND CHARACTERISTICS THAT EXISTED BEFORE CONSTRUCTION BEGAN. THE APPLICANT SHALL BE FURTHER RESPONSIBLE TO INSURE THAT, IN THE ROADWAYS ADJACENT TO THE CONSTRUCTION SITE, THESE MARKINGS, SIGNS, AND SIGNALS, ARE MAINTAINED AND THAT APPROPRIATE PROTECTION OF TRAFFIC, BOTH VEHICULAR AND PEDESTRIAN IS PROVIDED AT ALL TIMES THROUGHOUT THE ENTIRE PERIOD OF CONSTRUCTION. IF REPLACEMENT OR UPGRADE IS REQUIRED, SAME MUST BE APPROVED BY THE TOWN OF RIVERHEAD DEPARTMENT OF TRANSPORTATION AND TRAFFIC SAFETY.
33. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS A PRE-CONSTRUCTION MEETING WITH THE TOWN OF RIVERHEAD DEPARTMENT OF ENGINEERING SERVICES MUST BE SCHEDULED BY THE APPLICANT.

RIVERHEAD HIGHWAY OFFICE NOTES:

1. CONTRACTOR SHALL OBTAIN PERMIT/PERMISSION FROM THE TOWN HIGHWAY DEPARTMENT TO USE A PORTION OF THE TOWN RIGHT-OF-WAY FOR STORAGE OR STAGING OF EQUIPMENT DURING CONSTRUCTION. IF THIS PERMIT/PERMISSION CANNOT BE OBTAINED THE CONTRACTOR/OWNER SHALL SECURE AN ALTERNATIVE AREA.
2. A PERMIT FROM THE HIGHWAY OFFICE IS REQUIRED FOR ALL IMPROVEMENTS REQUIRED WITHIN THE TOWN RIGHT-OF-WAY

CUT AND FILL CALCULATIONS

PATIO & RESTAURANT 2 - CUT	LOBBY - FILL
702 SF x (5.2-2.2 FT) = 2,106 CF	3,960 SF x (6.0-7.33 FT) = -9,227 CF
1,318 SF x (4.5-2.2 FT) = 3,031 CF	3,500 SF x (6.5-7.33 FT) = -2,905 CF
837 SF x (4.0-2.2 FT) = 1,506 CF	RESTAURANT 2 - FILL
2,060 SF x (4.5-2.2 FT) = + 4,738 CF	1,500 SF x (5.4-8.5 FT) = + 4,650 CF
713 SF x (4.9-2.2 FT) = 1,906 CF	90 SF x (4.9-8.5 FT) = -378 CF
745 SF x (5.2-2.2 FT) = 2,235 CF	305 SF x (4.5-8.5 FT) = -1,220 CF
201 SF x (6.0-2.2 FT) = 764 CF	60 SF x (4.0-8.5 FT) = -270 CF
PARKING LOT - CUT	TOTAL FILL = 16,850 CF
1,244 SF x (5.8-3.5 FT) = 2,861 CF	
6,470 SF x (5.5-3.5 FT) = 12,940 CF	
3,969 SF x (6.5-3.5 FT) = 11,967 CF	
2,960 SF x (6.3-3.5 FT) = 8,608 CF	
6,017 SF x (6.3-3.5 FT) = 16,848 CF	
TOTAL CUT = 67,530 CF	

ZONING ANALYSIS

- AS PER
SUBJECT PROPERTY: SECTION 129, BLOCK 01, LOTS 21, 22
- ZONING DISTRICT: MAIN STREET (DC-1)
- MINIMUM LOT AREA: 3,000 S.F.
PROPOSED LOT AREA: 37,166 S.F.
- MINIMUM LOT WIDTH @ FRONT STREET: 50'
PROPOSED LOT WIDTH @ FRONT STREET: 382'
- MAXIMUM LOT COVERAGE WITH SEWER: 80%
PROPOSED LOT COVERAGE WITH SEWER: 91.75% **VARIANCE REQUIRED**
- MAXIMUM IMPERVIOUS SURFACE: 100%
PROPOSED IMPERVIOUS SURFACE: 100%
- MAXIMUM HEIGHT OF BUILDING: 60'
PROPOSED HEIGHT OF BUILDING: 60'
- F.A.R. MAXIMUM ALLOWED: 4.0 OR 148,664 S.F.
F.A.R. PROPOSED: 3.15 OR 117,250 S.F.
- BUILDING SETBACKS:
MINIMUM REQUIRED FRONT YARD, SIDE & REAR YARDS: 0'
PROVIDED SOUTH SIDE: 0.166'
PROVIDED NORTH SIDE: 0'
PROVIDED EAST SIDE: 0'
PROVIDED WEST SIDE: 0.166'
- ARTICLE XXIX
DOWNTOWN CENTER 1: MAIN STREET (DC-1) ZONING USE DISTRICT
[ADDED 11-3-2004 BY L.L. NO. 45-2004]
§ 301-140. PURPOSE AND INTENT.
THE INTENT OF THE DOWNTOWN CENTER 1: MAIN STREET (DC-1) ZONING USE DISTRICT IS TO ALLOW, MAINTAIN, AND FOSTER A TRADITIONAL DOWNTOWN CHARACTER ALONG MAIN STREET, WITH A PEDESTRIAN-FRIENDLY STREETScape, ACTIVE GROUND-FLOOR USES, A TWENTY FOUR HOUR PRESENCE FROM UPPER-STORY RESIDENTIAL, WITH A COMPACT, WALKABLE SCALE.
§ 301-141. USES.
IN THE DC-1 ZONING USE DISTRICT, NO BUILDING, STRUCTURE, OR PREMISES SHALL BE USED OR ARRANGED OR DESIGNED TO BE USED, AND NO BUILDING OR STRUCTURE SHALL BE HEREAFTER ERECTED, RECONSTRUCTED, OR ALTERED, UNLESS OTHERWISE PROVIDED IN THIS CHAPTER, EXCEPT FOR THE FOLLOWING PERMITTED USES OR SPECIALLY PERMITTED USES AND THEIR CUSTOMARY ACCESSORY USES:
- A- PERMITTED USES:
[AMENDED 2-7-2006 BY L.L. NO. 8-2006]
(1) RETAIL STORES, WITH 10,000 SQUARE FEET OF GROSS LEASABLE FLOOR AREA OR LESS.
PROPOSED RETAIL = 2,000 SQ.FT - COMPLIES
(2) BANKS
(3) PERSONAL SERVICE BUSINESSES.
(4) INDOOR PUBLIC MARKETS
(5) ART GALLERIES AND STUDIOS
(6) MUSEUMS, LIBRARIES, AQUARIUMS AND OTHER CULTURAL ATTRACTIONS.
(7) RESTAURANTS, CAFES, BAKERIES WITH RETAIL SALE ON PREMISES, BANQUET FACILITIES, SPECIALTY FOOD STORES, ICE CREAM PARLORS.
PROPOSED - RESTAURANT, COMPLIES
(8) THEATERS AND CINEMAS.
(9) PROFESSIONAL OFFICES (EXCEPT FOR VETERINARY OFFICES) ON THE GROUND FLOOR.
(10) SCHOOLS (INCLUDING BUSINESS AND SECRETARIAL).
(11) PLACES OF WORSHIP.
(12) RESIDENTIAL UNITS ON UPPER FLOORS, SUBJECT TO THE FOLLOWING CONDITIONS:
(a) STUDIO APARTMENTS OR EFFICIENCY UNITS CONSISTING OF NOT MORE THAN ONE HABITABLE ROOM, TOGETHER WITH KITCHEN OR KITCHENETTE AND SANITARY FACILITIES, SHALL HAVE A MINIMUM OF 300 SQUARE FEET AND A MAXIMUM OF 450 SQUARE FEET.
PROPOSED: STUDIOS RANGING 414 SQ.FT TO 522 SQ.FT - VARIANCE REQUIRED
(b) EXCEPT AS SET FORTH IN SUBSECTION A(12)(A) ABOVE, THE DWELLING UNIT MAY CONTAIN ONE KITCHEN, ONE DINING ROOM, ONE LIVING ROOM, ONE OR TWO BATHROOMS AND UP TO TWO BEDROOMS. ROOMS DESIGNATED AS DENs, LIBRARIES, STUDIOS, FAMILY ROOMS, BONUS ROOMS, COMPUTER ROOMS, OR ANY SIMILARLY NAMED ROOM, SHALL BE DEEMED TO BE ADDITIONAL BEDROOMS, UNLESS THE ROOM IS DESIGNED SUCH THAT THE DIMENSIONS ARE LESS THAN 70 SQUARE FEET OR AS PART OF AN OPEN FLOOR PLAN DESIGN.
PROPOSED: ALL INDIVIDUAL UNITS CONTAIN ONE BATHROOM PER UNIT, ONE LIVING ROOM ONE DINING ROOM PER UNIT, ONE OR TWO BATHROOMS - COMPLIES
(c) THE APPLICATION FOR SITE PLAN APPROVAL MUST INCLUDE ALL FLOOR PLANS WHICH DEMONSTRATE COMPLIANCE WITH THE PROVISIONS IN SUBSECTION A(12)(A) AND (B) ABOVE.
(13) BED-AND-BREAKFAST ESTABLISHMENTS.
(14) TOWNHOUSES UPON LOTS WITH FRONTAGE ALONG PUBLIC HIGHWAYS OTHER THAN NEW YORK STATE ROUTE 25.
- B- SPECIAL PERMIT USES - **NOT APPLICABLE**
C- ACCESSORY USES - **NOT APPLICABLE - COMPLY**
D- PROHIBITED USES - **NOT APPLICABLE - COMPLY**
- § 301-142. LOT, YARD, BULK AND HEIGHT REQUIREMENTS.
NO BUILDINGS SHALL BE ERECTED NOR ANY LOT OR LAND AREA UTILIZED UNLESS IN CONFORMITY WITH THE ZONING SCHEDULE 2 INCORPORATED INTO THIS CHAPTER BY REFERENCE AND MADE A PART HEREOF WITH THE SAME FORCE AND EFFECT AS IF SUCH REQUIREMENTS WERE HEREIN SET FORTH IN FULL AS SPECIFIED IN SAID SCHEDULE, EXCEPT AS MAY BE HEREAFTER SPECIFICALLY MODIFIED.
- § 301-143. SUPPLEMENTARY GUIDELINES. [AMENDED 5-5-2009 BY L.L. NO. 21-2009]
THE DESIGN, BUFFER AND PARKING STANDARDS LISTED IN THE PROVISIONS BELOW (SUBSECTIONS A AND B OF THIS SECTION) SHALL BE USED AS A GUIDE OR MEASURE FOR IMPROVEMENTS IN PARCELS IN THIS ZONING DISTRICT, AND THE WORD "SHALL" RECITED IN THE PROVISIONS BELOW, WITH THE EXCEPTION OF SUBSECTION B(1) WHICH REQUIRES ADHERENCE TO THE PARKING SCHEDULE, IS INTENDED TO OBTAIN COMPLIANCE WITH THE PROVISIONS TO THE EXTENT PRACTICABLE AS DETERMINED BY THE BOARD RESPONSIBLE FOR REVIEW.

- A- DESIGN STANDARDS.
- (1) THE PRINCIPAL BUILDING ENTRANCE AND FRONT SHALL FACE THE PRIMARY STREET FRONTAGE AND SIDEWALK. SECONDARY BUILDING ENTRANCES ON THE SOUTH SIDE OF MAIN STREET SHALL FACE THE PECONIC RIVERFRONT.
- (2) AT LEAST 75% OF LINEAR WIDTH OF THE FRONT FACADE SHALL BE COMPRISED OF TRANSPARENT WINDOWS. WHERE SHADE IS DESIRED, AWNINGS ARE ENCOURAGED. WINDOWS MAY NOT BE OBSCURED MORE THAN 10% BY OPAQUE BANNERS, OR EITHER PERMANENT OR TEMPORARY ADVERTISEMENTS OR SIGNS.
- PROVIDED 84% TRANSPARANCY - COMPLIES**
- (3) BUILDING SHAPE, MASSING, AND SITING SHOULD REFLECT THE PREVALENT CHARACTER OF SURROUNDING BUILDINGS ON THE BLOCK.
- (4) FACADES OF COMMERCIAL BUILDINGS THAT FACE SIDEWALKS OR PEDESTRIAN WALKWAYS SHALL BE REQUIRED TO HAVE VARIATIONS IN FACADE PLANE, PIERS, OR OTHER ARCHITECTURAL FEATURES.
- (5) SIGNAGE IN THE DC-1 ZONING USE DISTRICT SHALL BE PROVIDED IN ACCORDANCE WITH ARTICLE XLVIII, (108-56) SIGNS, OF THIS CHAPTER.
- (6) BUFFERING AND TRANSITIONS:
(a) TRASH AND/OR DUMPSTER AREAS SHALL BE SCREENED BY WOOD FENCES OR LANDSCAPING, OR A COMBINATION THEREOF PURSUANT TO § 245-8.
(b) BUFFER PLANTINGS OR LANDSCAPING OR OPAQUE FENCES, PREFERABLY WOOD FENCES, SHALL BE PROVIDED BETWEEN COMMERCIAL BUSINESSES AND ADJOINING RESIDENTIAL USES.
(c) DELIVERIES AND LOADING ACTIVITIES SHALL, TO THE EXTENT POSSIBLE, BE RESTRICTED TO THE HOURS BETWEEN 8:00 A.M. AND 5:00 P.M. ON WEEKDAYS.

- B- PARKING STANDARDS.
THE NUMBER OF OFF-STREET PARKING SPACES IN THE DC-1 ZONING USE DISTRICT SHALL BE PROVIDED IN ACCORDANCE WITH § 301-231, OFF-STREET PARKING.
- (1) WHERE CREDIBLE EVIDENCE IS PROVIDED BY TRAFFIC COUNTS OR DATA BY A LICENSED TRAFFIC ENGINEER, UP TO A TWENTY PERCENT REDUCTION IN OFF-STREET PARKING MAY BE PERMITTED FOR SHARED PARKING, WHERE THE PEAK PARKING OF TWO OR MORE USES OCCURS AT DIFFERENT TIMES.
- (2) THE PARKING REQUIREMENT MAY BE REDUCED WITH PAYMENT OF A FEE IN LIEU OF PROVIDING OFF-STREET PARKING AS PROVIDED FOR IN § 301-231.
- (3) OFF-STREET PARKING SHALL NOT BE PERMITTED IN THE FRONT YARD. PARKING SHALL BE SITED TO THE REAR OF BUILDINGS, AWAY FROM STREET FRONTAGE(S) WHEN POSSIBLE, OR TO THE SIDE OF BUILDINGS. IN ALL CASES, GARAGES AND PARKING AREAS SHALL BE RECESSED AT LEAST FIVE FEET FROM THE PRIMARY FRONT FACADE PLANE OF THE MAIN BUILDING, AND AT LEAST 15 FEET BACK FROM THE FRONT PROPERTY LINE.
- (4) PARKING MAY ALSO BE LOCATED FULLY BELOW BUILDINGS, PARTIALLY BELOW GRADE IN A BUILDING, OR AT GRADE WITHIN A BUILDING, PROVIDED IT IS FULLY ENCLOSED AND NO ENTRY IS PROVIDED FACING A PUBLIC STREET OR FRONT YARD. STRUCTURED PARKING THAT IS PARTIALLY BELOW GRADE SHALL BE SCREENED FROM THE STREET BY STEPS, TRELLISES, OR SCREENS.
- (5) CURB CUTS TO PARKING LOTS AND GARAGES SHALL BE MINIMIZED BY SHARING DRIVEWAYS FOR ACCESS TO ADJACENT PARKING LOTS. HOWEVER, CURB CUTS AND DRIVEWAYS ARE PROHIBITED ALONG THE FRONT PROPERTY LINE FOR PROPERTIES LESS THAN 30 FEET IN WIDTH; IN THESE SITUATIONS, PARKING MUST BE ACCESSSED FROM A REAR ALLEY, SIDE STREET, OR SHARED REAR LOT.

TOWN OF RIVERHEAD ZONING - ARTICLE XLV : SUPPLEMENTARY USE REGULATIONS

- 301-231 OFF-STREET PARKING
- A. OFF STREET PARKING SPACES SHALL BE PROVIDED FOR THE USES SPECIFIED IN THE PARKING SCHEDULE AT END OF CHAPTER. (SEE SCHEDULE BELOW FOR REFERENCE ONLY) - **NOT APPLICABLE, SEE ITEM I BELOW.**
- B. C. D. - **NOT APPLICABLE**

- E. SIZE OF PARKING SPACE AND AISLES FOR VARIOUS ANGLES OF PARKING.
[AMENDED 12-21-1976; 5-17-2001 BY L.L. NO. 14-2001; 9-16-2008 BY L.L. NO. 35-2008; 8-16-2009 BY L.L. NO. 42-2009]
- (1) PARKING SPACE' AND AISLE WIDTH' SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING:
- | PARKING ANGLE (DEGREES) | AISLE WIDTH (FEET) |
|-------------------------|--------------------|
| 90 | 24 |
| 60 | 18 |
| 45 | 12 |
- *PARALLEL PARKING MAY BE PERMITTED AT THE DISCRETION OF THE BOARD RESPONSIBLE FOR REVIEW WITH A TWENTY-FOUR-FOOT PARKING AISLE
- PROPOSED: 20' AISLE WIDTH - VARIANCE REQUIRED**
- (2) ALL PARKING SPACES SHALL BE 10 FEET BY 20 FEET. THE BOARD RESPONSIBLE FOR REVIEW SHALL HAVE DISCRETION TO APPROVE NINE-FOOT BY TWENTY-FOOT PARKING SPACES, PROVIDED THEY ARE DOUBLE STRIPED (SEE 301 ATTACHMENT 1-3), EXCEPT FOR HANDICAPPED AND PARALLEL PARKING SPACES.
- PROPOSED: PARKING SPACES MEASURING 8.5 FT. BY 18 FT. - VARIANCE REQUIRED**
- PROPOSED: 2 "COMPACT" PARKING SPACES MEASURING 8.5 FT. BY 16 FT. - VARIANCE REQUIRED**
- (3) UNOBTSTRUCTED ACCESS TO AND FROM A STREET SHALL BE PROVIDED. WHERE THERE IS TWO-WAY TRAFFIC, SUCH ACCESS SHALL CONSIST OF A MINIMUM WIDTH OF 24 FEET AT THE CURB CUT, WHETHER THERE IS A SINGLE LANE OR MULTIPLE LANES. NO ENTRANCE OR EXIT SHALL BE LOCATED WITHIN 75 FEET OF ANY STREET INTERSECTION. ENTRANCE AND EXIT LANES SHALL BE SUITABLY MARKED.
- (4) ACCESS FOR EMERGENCY VEHICLES. EMERGENCY VEHICLE ACCESS SHALL COMPLY WITH THE NEW YORK STATE FIRE CODE AS CONTAINED IN THE NEW YORK STATE BUILDING AND FIRE PREVENTION CODE.

- F.G.H. - **NOT APPLICABLE**
- I. **WHEN A PUBLIC PARKING DISTRICT HAS BEEN CREATED, THE OWNER OF PROPERTY WITHIN SUCH DISTRICT NEED NOT PROVIDE OFF-STREET PARKING AREAS REQUIRED BY THIS CHAPTER.**

- J.K.L. - **NOT APPLICABLE**
- M. HANDICAPPED-ACCESSIBLE PARKING SPACES.
[ADDED 4-7-1998; AMENDED 8-18-2009 BY L.L. NO. 42-2009]
- (1) **NOT APPLICABLE**
- (2) HANDICAPPED ACCESSIBLEG PARKING SPACES SHALL BE 10 FEET BY 20 FEET AND SHALL BE PROVIDED WITH STRIPED HANDICAPPED ACCESS AISLES OF EIGHT FEET IN WIDTH. HANDICAPPED AISLES MAY BE SHARED BY TWO ADJACENT HANDICAPPED PARKING SPACES.
- PROPOSED: HANDICAPPED PARKING SPACES MEASURING 8 FT. BY 18 FT. WITH 8 FT. ACCESS AISLE - VARIANCE REQUIRED**
- (3) HANDICAPPED-ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED WITH A PERMANENTLY INSTALLED ABOVE-GRADE SIGN WHICH DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WHICH SHALL BE POSITIONED FROM THE PARKING SPACE SURFACE AT A HEIGHT OF FIVE FEET TO ITS LOWEST POINT, AS MEASURED FROM THE PAVEMENT SURFACE. IN AN INSTANCE WHERE THE SIGN POLE IS NOT PROTECTED BY A WHEEL STOP OR CURB, SUCH A SIGN POLE MUST BE INSTALLED WITHIN A SIX-INCH-DIAMETER PIPE FILLED WITH CEMENT.
- PROPOSED: HANDICAPPED-RESERVED PARKING SIGN TO BE MOUNTED 5' AFF - COMPLY**
- (4) THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE DISPLAYED ON THE PARKING SURFACE OF EACH HANDICAPPED-ACCESSIBLE SPACE.
- PROPOSED: INTERNATIONAL SYMBOL OF ACCESSIBILITY TO BE PAINTED ON EACH PARKING SURFACE - COMPLY**

- 301-246. BUILDING AREA AND SETBACK.
NOTWITHSTANDING ANY OTHER PROVISION OF THIS CHAPTER, THE TOWN BOARD MAY, BY SPECIAL PERMIT, ALLOW WITHIN THE RIVERHEAD PUBLIC PARKING DISTRICT NO.1 A MINIMUM FRONT YARD DEPTH OF ZERO FEET AND/OR A TOTAL BUILDING AREA OF UP TO 100% OF THE AREA OF A PARCEL OF LAND HELD IN ONE OWNERSHIP, EITHER BY ERECTION OF A NEW BUILDING OR BY ALTERATION OR EXTENSION OF AN EXISTING BUILDING.

ZONING AND LAND DEVELOPMENT

	DESCRIPTION	REQUIRED	PROVIDED
301 ATTACHMENT 3 TOWN OF RIVERHEAD	MINIMUM LOT AREA	5,000 S.F.	37,166 S.F.
	MINIMUM LOT WIDTH AT FRONT STREET	50 FT.	382 FT.
	MAXIMUM BUILDING LOT COVERAGE (WITH SEWER)	80%	91.75% *, ***
	MAXIMUM IMPERVIOUS SURFACE	100%	100%
	MAXIMUM HEIGHT OF BUILDINGS	60 FT.	60 FT. **
	MAXIMUM FLOOR AREA RATIO (WITH SEWER)	4.00	3.15
COMMERCIAL DISTRICTS SCHEDULE OF DIMENSIONAL REGULATIONS	MINIMUM FRONT YARD DEPTH	0 FT.	<1 FT.
	CORNER LOT: MINIMUM DEPTH FACING SIDE STREET	0 FT.	<1 FT.
	CORNER LOT: MINIMUM COMBINED SIDE YARD DEPTH	0 FT.	<1 FT.
	MINIMUM REAR YARD DEPTH	0 FT.	<1 FT.
	MINIMUM PARKING STALL SIZE	10' X 20'	8.5' X 18' *
	MINIMUM BACKUP AISLE (90° PARKING)	24 FT.	20 FT. *
301-231 OFF-STREET PARKING REGULATIONS	MINIMUM PARKING STALL SIZE (HANDICAPPED & VAN ACCESSIBLE)	10' X 20'	8' X 18' *
	MINIMUM ACCESS AISLE WIDTH	8 FT.	5 FT. *
	MINIMUM WIDTH AT CURB CUT	24 FT.	20 FT. *
	MAXIMUM STUDIO APARTMENT SIZE	300 - 450 S.F.	414 - 522 S.F. *

- * VARIANCE REQUIRED
** BUILDING WILL NOT EXCEED 5 STORIES
*** SPECIAL PERMIT FROM THE TOWN BOARD REQUIRED AS ALLOWED BY CODE SECTION 301-246

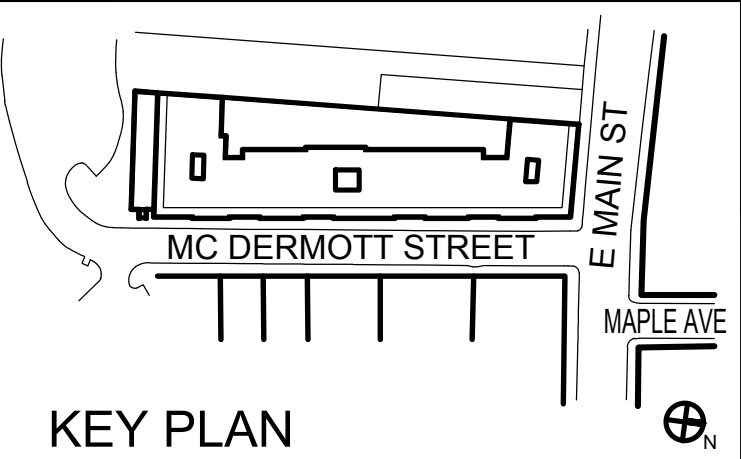
TOWN BOARD CERTIFICATION

This is to certify that this site plan has been approved by the Town Board of the Town

of Riverhead by Town Board Resolution number_____dated_____

Signature of Town Supervisor _____

Date of signature_____



KEY PLAN

06/27/17	SITE PLAN REVIEW 3RD SUBMISSION	
02/17/17	SITE PLAN REVIEW 2ND SUBMISSION	

Architect:
The Stephen B. Jacobs Group, P.C.
381 Park Avenue South
New York, N.Y. 10016
212-421-3712
© 2016

Structural Engineer:
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Civil Engineer:
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Melville, New York 11747
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MEP Engineer:
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Bayside, New York 11361
718-224-9091
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Owner:
Georgica Green Ventures LLC
50 Jericho Quadrangle - Suite 200
Jericho, New York 11753
(516) 488-3000
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221 East Main Street
Riverhead, NY

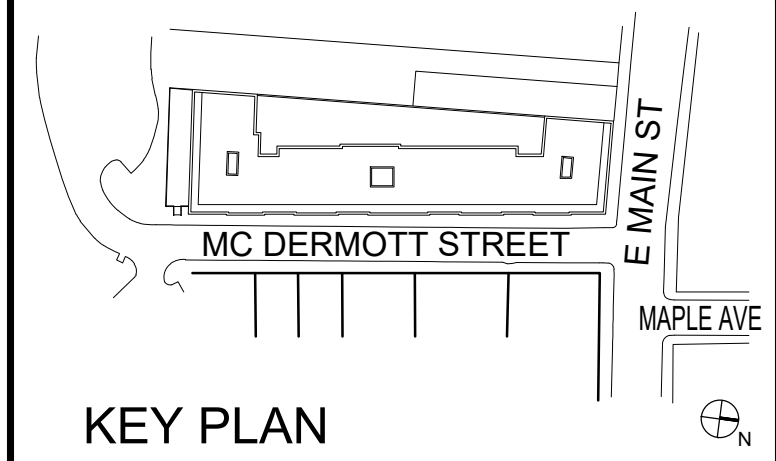
Drawing Title:

CONSTRUCTION NOTES
AND ZONING ANALYSIS

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	PROJECT#:	1617
	DRAWING SCALE:	AS NOTED
	DRAWING NO:	C-002.00
CAD REF:		C:/SITE PLAN 427.17.dwg

1 CONSTRUCTION NOTES AND ZONING ANALYSIS
SCALE: NTS

SEAL & SIGNATURE:	DATE:	09.27.16
	PROJECT#:	1617
	DRAWING SCALE: AS NOTED	
	DRAWING NO:	
	C-001.00	
	CAD REF:	
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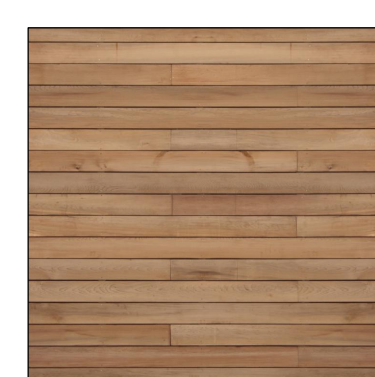
06/21/17	TOWN CONSULTANT REVIEW	
02/13/17	SITE PLAN REVIEW 2ND SUBMISSION	
01/24/17	SPECIAL PERMIT	
12/19/16	SITE PLAN REVIEW	

Structural Engineer:
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Riverhead, NY

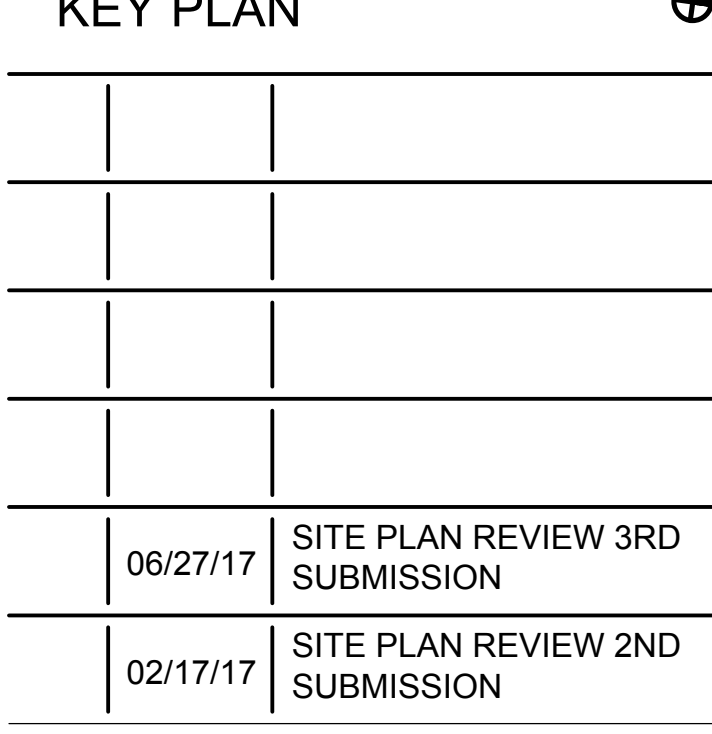
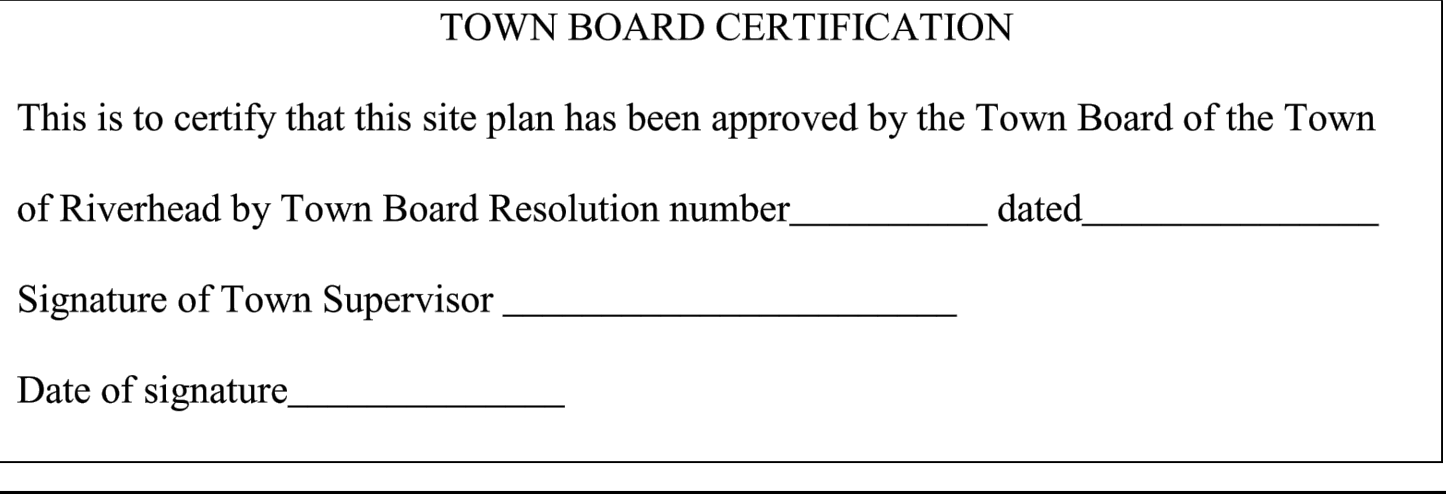
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	CAD REF: G/1617_A-016 ELEVATIONS-REV-3.dwg



5 EXTERIOR MATERIALS
SCALE: NTS



1 EAST ELEVATION
SCALE: 1" = 16'-0"



Structural Engineer:
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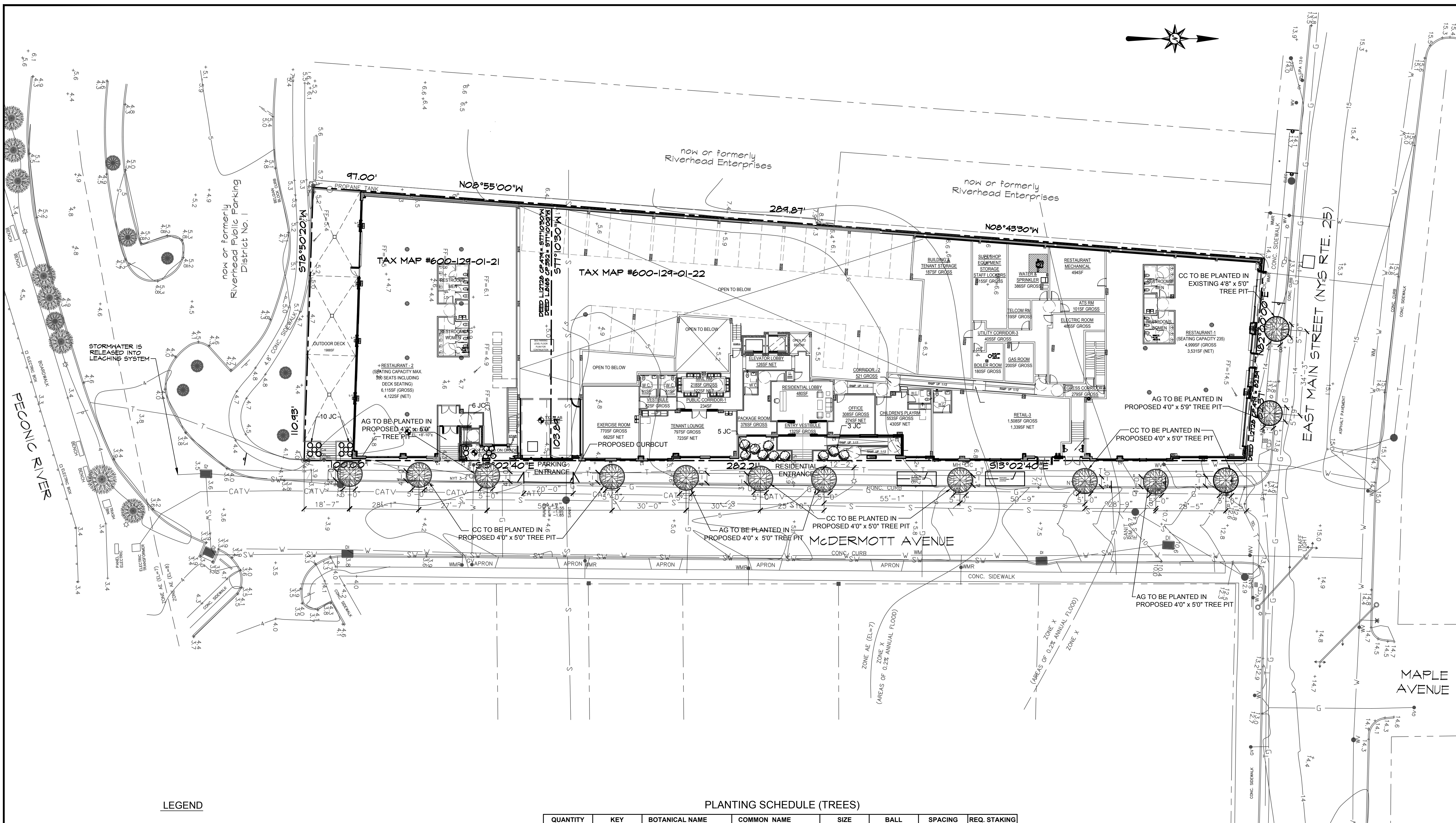
Owner:
Georgica Green Ventures LLC
50 Jericho Quadrangle - Suite 200
Jericho, New York 11753
(516) 488-3000
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221 East Main Street
Riverhead, NY

Drawing Title:

**EROSION AND SEDIMENT
CONTROL & STAGING PLAN**

SEAL & SIGNATURE:	DATE:	09.27.16
	PROJECT#:	1617
	DRAWING SCALE:	AS NOTED
	DRAWING NO:	
	C-104.00	
CAD REF:		
C:/SITE PLAN 4.27.17.dwg		



LEGEND

- CATV

E

G

S

SW

T

W

G

S

W
- PROPERTY LINE

EXISTING CATV

EXISTING ELEC

EXISTING GAS

EXISTING SEWER

EXISTING STORMWATER

EXISTING TELEPHONE

EXISTING WATER

PROPOSED GAS

PROPOSED SEWER

PROPOSED WATER

CONSTRUCTION FENCE
- WATER VALVE

BOREHOLE

PROPOSED FIRE HYDRANT

EXISTING FIRE HYDRANT

PROPOSED MANHOLE

EXISTING MANHOLE

STREET LIGHT

STREET SIGN

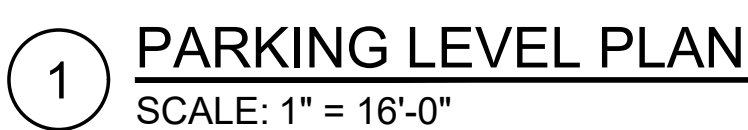
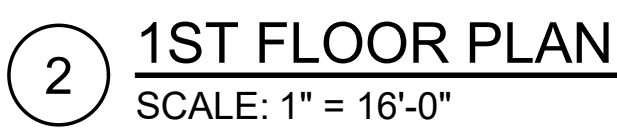
UTILITY POLE

UTILITY BOX

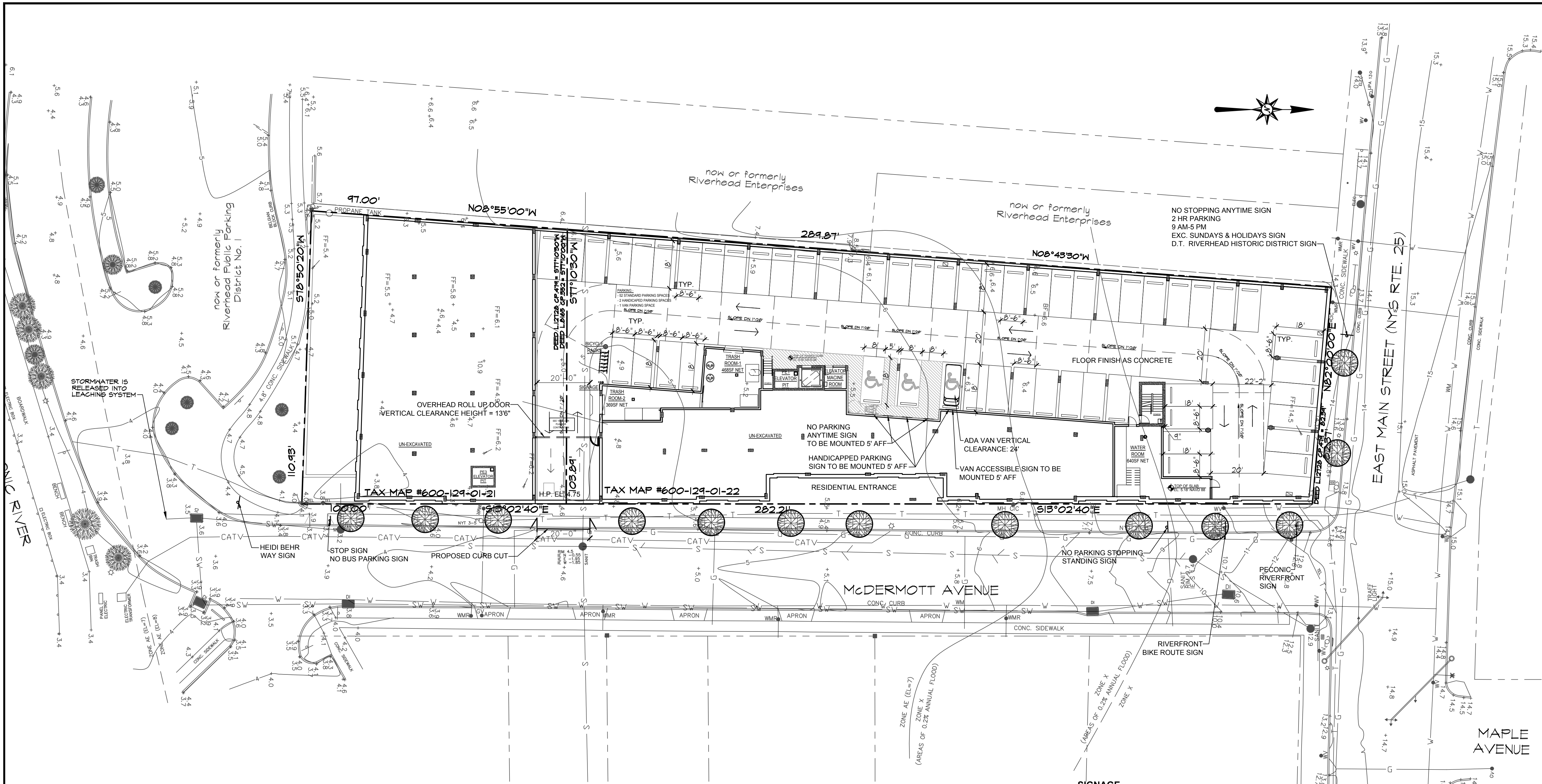
PROPOSED TREE
- PLANTING SCHEDULE (TREES)
- | QUANTITY | KEY | BOTANICAL NAME | COMMON NAME | SIZE | BALL | SPACING | REQ. STAKING |
|----------|-----|----------------------|-------------------|------|-------|---------|--------------|
| 5 | AG | ACER GINNALA | AMUR MAPLE | 3.5" | B & B | 30' | YES |
| 6 | CC | CARPINUS CAROLINIANA | AMERICAN HORNBEAM | 3.5" | B & B | 30' | YES |
- NOTE: ALL STREET TREES SHALL BE TRIMMED AND MAINTAINED IN ORDER TO PROVIDE A CLEAR ACCESS PATH FOR PEDESTRIANS ALONG PROPERTY FRONTAGE.
- PLANTING SCHEDULE (SHRUBS)
- | QUANTITY | KEY | BOTANICAL NAME | COMMON NAME | SIZE | BALL | SPACING | REQ. STAKING |
|----------|-----|------------------------------|--------------------------|-------------|--------|---------|--------------|
| 12 | JC | JUNIPERUS CHINENSIS "BLAAUW" | CHINESE JUNIPER "BLAAUW" | 3-4 GALLONS | #3 CAN | 3' O.C. | - |
- TOWN BOARD CERTIFICATION
- This is to certify that this site plan has been approved by the Town Board of the Town of Riverhead by Town Board Resolution number _____ dated _____

Signature of Town Supervisor _____

Date of signature _____
-
- KEY PLAN
- | | |
|----------|---------------------------------|
| | |
| | |
| | |
| 06/27/17 | SITE PLAN REVIEW 3RD SUBMISSION |
| 02/17/17 | SITE PLAN REVIEW 2ND SUBMISSION |
| 12/19/16 | SITE PLAN REVIEW |
- Architect:
The Stephen B. Jacobs Group, P.C.
381 Park Avenue South
New York, N.Y. 10016
212-421-3712
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- Structural Engineer:
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- Owner:
Georgica Green Ventures LLC
50 Jericho Quadrangle - Suite 200
Jericho, New York 11753
(516) 488-3000
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- 221 East Main Street
Riverhead, NY
- Drawing Title:
- LANDSCAPE PLAN
- | | |
|-------------------|---|
| SEAL & SIGNATURE: | DATE: 09.27.16
PROJECT#: 1617
DRAWING SCALE: AS NOTED
DRAWING NO: C-103.00
CAD REF: 6/SITE PLAN 4.27.17.mxd |
|-------------------|---|
- 1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"



CAD REF:	
G/1617_A-013 PARKING & 1ST FLOOR PLAN	



LEGEND	
	PROPERTY LINE
	CATV
	EXISTING CATV
	EXISTING ELEC
	EXISTING GAS
	EXISTING SEWER
	EXISTING MANHOLE
	EXISTING STORMWATER
	EXISTING TELEPHONE
	EXISTING WATER
	PROPOSED GAS
	PROPOSED SEWER
	PROPOSED WATER
	CONSTRUCTION FENCE
	WATER VALVE
	BOREHOLE
	PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT
	PROPOSED MANHOLE
	EXISTING MANHOLE
	STREET LIGHT
	STREET SIGN
	UTILITY POLE
	UTILITY BOX
	PROPOSED TREE

PROPERTY INFORMATION
PROPERTY: 0.85 ACRES (37,166 SF)
NORTH LOT (22): 0.61 ACRES (26,596 SF)
SOUTH LOT (21): 0.24 ACRES (10,570 SF)

TAX MAP NUMBERS
NORTH PARCEL
DISTRICT: 0600
SECTION: 129
BLOCK: 01
LOT: 22

SOUTH PARCEL
DISTRICT: 0600
SECTION: 129
BLOCK: 01
LOT: 21

UTILITY INFORMATION
WATER IS SUPPLIED BY THE RIVERHEAD WATER DISTRICT.
THERE ARE NO WELLS WITHIN 150 FT OF THE PROPERTY.

SCHOOL DISTRICT:
RIVERHEAD CENTRAL SCHOOL

SEWER DISTRICT:
RIVERHEAD SEWER DISTRICT

FIRE DISTRICT:
RIVERHEAD VOLUNTEER FIRE DEPARTMENT

GAS
NATIONAL GRID
P.O BOX 9083
MELVILLE, NY 11747
PHONE: 1-800-930-5003

ELECTRIC
PSEG
15 PARK DR.
MELVILLE, NY 11747
PHONE: 1-800-490-0025

FUEL TYPE
ELECTRICITY WILL BE USED FOR HEATING THE BUILDING.

ZONING INFORMATION
TOWN OF RIVERHEAD, SUFFOLK COUNTY
EXISTING ZONING: DC-1
EXISTING USE: COMMERCIAL
PROPOSED USE: MIXED USE
TOTAL LOT AREA: 0.85 ACRES (37,166 SF)
S.C. GROUNDWATER MANAGEMENT ZONE: IV

SEE SHEET C-002 FOR ZONING ANALYSIS AND ADDITIONAL NOTES

EXISTING BUILDING INFORMATION
GROSS FLOOR AREA= 15,800 SF

PARKING
RESIDENTIAL
116 UNITS X 1.5 STALLS/UNIT = 174 STALLS

RESTAURANT
235 SEATS X 1 STALL/3 SEATS = 78.3 STALLS
300 SEATS X 1 STALL/3 SEATS = 100 STALLS

RETAIL
1,429 SF RETAIL X 1STALL/250 SF = 5.7 STALLS

TOTAL PARKING REQUIRED = 358 STALLS

PROVIDED UNDER BUILDING = 55

PROPERTY IS WITHIN THE BOUNDARIES OF THE DOWNTOWN RIVERHEAD PARKING DISTRICT AND THEREFORE THE PARKING REQUIREMENTS DO NOT APPLY TO THIS SITE

PARKING SIGNAGE DETAILS			
DEPICTION	DESCRIPTION	MUTCD NOTATION	DIMENSION
	HANDICAPPED RESERVED PARKING	R7-8	12" x 18"
	VAN ACCESSIBLE	R7-8P	18" x 9"
	NO PARKING ANYTIME	R7-1	12" x 18"

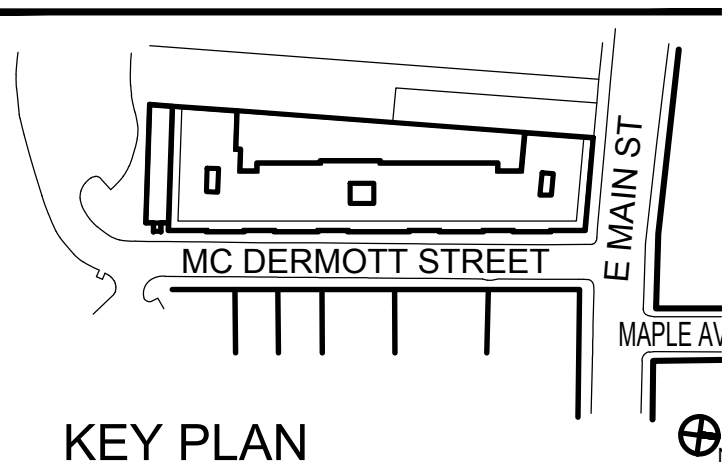
TOWN BOARD CERTIFICATION

This is to certify that this site plan has been approved by the Town Board of the Town of Riverhead by Town Board Resolution number_____dated_____

Signature of Town Supervisor _____

Date of signature_____

1 PARKING LEVEL ALIGNMENT
SCALE: 1" = 20'-0"



06/27/17	SITE PLAN REVIEW 3RD SUBMISSION
02/17/17	SITE PLAN REVIEW 2ND SUBMISSION
12/19/16	SITE PLAN REVIEW

Architect:
The Stephen B. Jacobs Group, P.C.
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Structural Engineer:
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Riverhead, NY

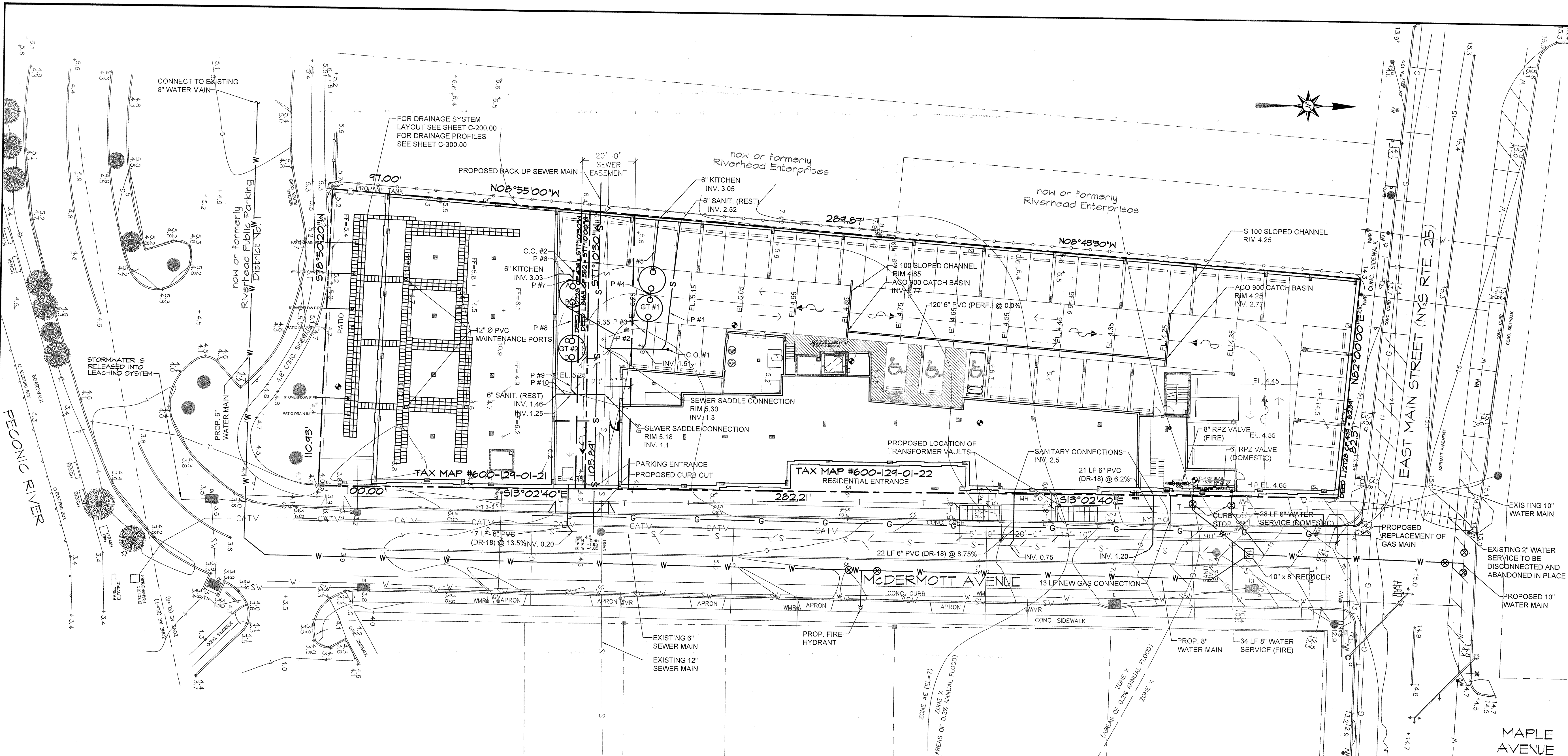
Drawing Title:
PARKING LEVEL PLAN

SEAL & SIGNATURE:

DATE: 09.27.16
PROJECT#: 1617
DRAWING SCALE: AS NOTED
DRAWING NO:

C-100.00

CAD REF:
C/SITE PLAN 4.27.17.dwg



LEGEND

---	PROPERTY LINE	⊗	WATER VALVE
---	EXISTING CATV	⊗	BOREHOLE
---	EXISTING ELEC	⊗	PROPOSED FIRE HYDRANT
---	EXISTING GAS	⊗	EXISTING FIRE HYDRANT
---	EXISTING SEWER	⊗	PROPOSED MANHOLE
---	EXISTING STORMWATER	⊗	EXISTING MANHOLE
---	EXISTING TELEPHONE	⊗	STREET LIGHT
---	EXISTING WATER	⊗	STREET SIGN
---	PROPOSED GAS	⊗	UTILITY POLE
---	PROPOSED SEWER	⊗	UTILITY BOX
---	PROPOSED WATER	⊗	POLE MOUNTED STREET LIGHT
---	CONSTRUCTION FENCE	⊗	PROPOSED TREE
---	EXISTING CURB	⊗	GREASE TRAP
---	PROPOSED CURB		

SANITARY STRUCTURE SCHEDULE

STRUCTURE	RIM EL.	INVERT EL. (N)	INVERT EL. (OUT)
GT#1	5.22	2.7	1.7
GT#2 A:	5.35	2.83	
GT#2 B:	5.31		2.33
GT#2 C:	5.29	2.12	
GT#2 D:	5.25		1.62
C.O.#1	5.18	1.52	
C.O.#2	5.34	1.42	

SEWER SCHEDULE

PIPE	LENGTH	DIAMETER	PIPE TYPE	SLOPE
P #1	50 LF	6"	PVC (SDR-35)	2.0%
P #2	24 LF	6"	PVC (DR-18)	2.0%
P #3	13 LF	6"	PVC (DR-18)	2.0%
P #4	3 LF	6"	PVC (DR-18)	0%
P #5	20 LF	6"	DIP	2.0%
P #6	8 LF	6"	DIP	2.0%
P #7	4 LF	6"	PVC (DR-18)	2.0%
P #8	14 LF	6"	PVC (DR-18)	2.0%
P #9	14 LF	6"	PVC (DR-18)	2.0%
P #10	20 LF	6"	PVC (DR-18)	2.0%

DRAINAGE CALCULATIONS

TOTAL SITE= 37,168 SF
PATIO= 2,130 SF
BUILDING= 34,673 SF

RUNOFF CALCULATIONS

34,673 SF x 1.0 x (1/2) = 5,778.8 CF
2,130 SF x 1.0 x (1/2) = 887.5 CF
TOTAL= 6,666.3 CF

UNDERGROUND INFILTRATION UNITS*

TOTAL OF 542 DOUBLE RAIN TANKS ARE PROPOSED
542 UNITS X 2 = 1084 UNITS
1048 X 4.22 CF/UNITS = 4,474.48 CF

ROOF DETENTION

TOTAL ROOF RUNOFF- UNDERGROUND DRAINAGE= 6,666.3 CF - 4,574.50 = 2,091.8 CF REQUIRED

PROVIDED ROOF DETENTION

TOTAL OF 7 CONTROLLED FLOW ROOF DRAINS PROPOSED
TOTAL ROOF AREA = 19,673 SF
AREA OF CONTROLLED FLOW = 18,721 SF

ACTUAL ROOF DETENTION WILL BE 2,384 CF**

ADDITIONAL DRAINAGE IN STONE VOIDS***

EFF. DEPTH OF BACKFILL = 4.88 FT
AREA UNDER PATIO = 1840 SF
AREA UNDER REST. = 4373 SF
TOTAL VOLUME = (1840+4373 SF) x 4.88 FT = 30,319 CF

VOLUME RAIN TANKS

542 UNITS X 8.69 CF = 4,710 CF
18 UNITS X 2.4 CF = 43 CF

VOLUME PILE CAPS
(46.75+45.56+45.56+45.56 SF) x 4.88 FT = 895 CF

VOLUME STONE VOIDS
BACKFILL= 30,319+4,710+43-895 = 24,671 CF
POROSITY = 0.25
0.25 x 24,671 = 6,167.7 CF

ADDITIONAL 6,167.7 CF OF STORAGE IS PROVIDED.
THIS IS EQUIVALENT TO AN ADDITIONAL 2" OF RAINFALL.

EXISTING SANITARY CALCULATIONS

RETAIL
15,800 SF x 0.03 GPD/SF = 484 GPD

PROPOSED SANITARY CALCULATIONS

RESIDENTIAL***

35 UNITS UNDER 600 SF x 150 GPD/UNIT = 5,250 GPD
80 UNITS UNDER 1200 SF x 225 GPD/UNIT = 18,000 GPD
1 UNIT OVER 1200 SF x 300 GPD/UNIT = 300 GPD

RETAIL

1,508 SF x 0.03 GPD/SF = 45.2 GPD

RESTAURANT

235 SEATS x 10 GPD/SEAT (SANITARY) = 2,350 GPD
235 SEATS x 20 GPD/SEAT (KITCHEN) = 4,700 GPD
PROVIDE 2 SEQUENTIAL 2,500 GAL GREASE TRAPS (SHOWN AS GT#1)

RESTAURANT 2

300 SEATS x 10 GPD/SEAT = 3,000 GPD
300 SEATS x 20 GPD/SEAT = 6,000 GPD
PROVIDE 2 SEQUENTIAL 3,000 GAL GREASE TRAP (SHOWN AS GT#2)

TOTAL FLOW FOR SITE (INCLUDING KITCHEN)
= 39,845.2 GPD

REFER TO SHEET C-501.00 FOR THE GREASE TRAP DETAILS AND BUOYANCY CALCULATIONS.

*UNDERGROUND INFILTRATION UNITS TO BE LOCATED UNDER RESTAURANT SLAB AT THE REAR OF THE SITE. INFILTRATION UNITS SHALL BE "RAIN TANK" DRAINAGE SYSTEM OR APPROVED EQUAL. REFER TO SHEET C-105 FOR PROPOSED CONFIGURATION AND SHEET C-504 FOR RAIN TANK SPECIFICATIONS

**REFER TO PLUMBING DRAWINGS FOR ROOF DETENTION NOTES.

***CRUSHED WASHED STONE WILL BE USED TO BACKFILL AROUND RAIN TANKS UNDERNEATH PATIO AND RESTAURANT. LIMIT OF BACKFILL IS SHOWN ON SHEET C-105

****UNITS REFERS TO APARTMENTS

Roof Detention Calculations - 05/30/17

roof area- (ft ²) 19673	Q _{max} (cfs) 0.261	# drns. 7	# wts./drn. 1	gpm/in./wr. 4.50
ft ² for anti-det. vol. (ft ²) 18721	avg. lgh./drn. (ft) 38	avg. lgh./drn. (ft) 38	lgh./sec.drn./prl.drn. (in.) 3.75	
avg. width drn. (ft) 46.50	Max S ₂ -in. 3.72	Q _{max}	D _{req} -in. 2.89	V _{max} (ft ³) 2384
slope (in./ft.) 0.125	d ₀ (in.) 1.69	C _{ve} 0.306		Req. V _r (ft ³) 2349

INSTRUCTIONS

The worksheet divides the roof area available for detention by the number of drains, assumes that the average length of an area is 1.25 times the width, with all areas restricted equally, and bi-directional drainage areas with the same slope in each direction. For the controlled flow roof drain: area in ft² next to n-gal./ft² (ft³), maximum release rate in cfs next to Q_{max} (cfs); number of controlled flow roof drains next to n/drn.; number of standard controlled flow weirs per controlled flow drain next to n/wts./drn.; normally 1; the flow rate per controlled flow weir; in gal. per minute per in. of ponding depth per controlled flow weir next to gpm/in./wr.; (normally 9 l for a standard weir); area of roof in ft² available for providing detention volume next to ft² avail.-det. vol. (ft³); height in inches of secondary drains above primary drains next to lgh./sec.drn./prl.drn. (in.), 2.00 to 4.00 inches; slope of roof in inches per foot next to slope (in./ft.); minimum 1/16 (0.0625), but 1/8 (0.125) is recommended. The area of the roof available for providing detention volume cannot be greater than the area next to n-gal./ft² (ft³). The weighted effective runoff coefficient for this roof with flow restricted by roof detention & controlled flow drains is next to C_{ve}, and the volume required in ft³ is next to Req. V_r (ft³). The volume available in ft³ is under V_{max} (ft³). If the volume available is less than the required volume the gpm/in./wr. must be decreased, the release rate from the roof increased, or possibly the number of drains changed, until the volume available is greater than or equal to the volume required. If the volume available is larger than the volume required, the gpm/in./wr. may be increased until the volume available is equal to or larger than the volume required. For nonstandard drains using an orifice as the control flow device, required diameter in inches is next to d₀ (in.), (min. dia. 0.88 in.).

FLOW ALLOWED FROM ROOF

THE SOIL INFILTRATION RATE AT 2 DEPTHS
= 6.78 IN/HR. AVERAGE OVER 4 HR PERIOD
AREA OF STONE INFILTRATION SYSTEM = 1661 SQ.FT.
OUTFLOW RATE THROUGH BOTTOM OF INFILTRATION SYSTEM
Q = (1661 SF)(6.78 IN/HR) / (43,200) = 0.261 CFS.

ROOF DETENTION CALCULATION:

DURATION OF RAINFALL:	REQUIRED STORAGE VOLUME:
1 _r = 0.27 x (Cm x A) Q _{DR} ^{0.5} - 15	V _r = (1.7 x Q _{DR} x A) x Cw ^{0.5} - 40 x Q _{DR} ^{1.5}
1 _r = 0.27 x (1.00 x 19,673 / 0.261) ^{0.5} - 15	V _r = (0.7 x (0.261 x 19,673 x 1.00) ^{0.5} - 40 x 0.261 x 19,673
1 _r = 59.13 min	V _r = 2,349 cu. ft.

TOWN BOARD CERTIFICATION

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Signature of Town Supervisor _____
Date of signature _____

KEY PLAN

07/27/17	DEIS SUBMISSION
06/27/17	SITE PLAN REVIEW 3RD SUBMISSION
02/17/17	SITE PLAN REVIEW 2ND SUBMISSION
12/19/16	SITE PLAN REVIEW

Architect:

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Structural Engineer:

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Owner:

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(516) 488-3000
© 2016

221 East Main Street
Riverhead, NY

Drawing Title:

SITE DRAINAGE & UTILITY

SEAL & SIGNATURE:

DATE: 11.09.16
PROJECT: 1617
DRAWING SCALE: AS NOTED
DRAWING NO.

C-102.00

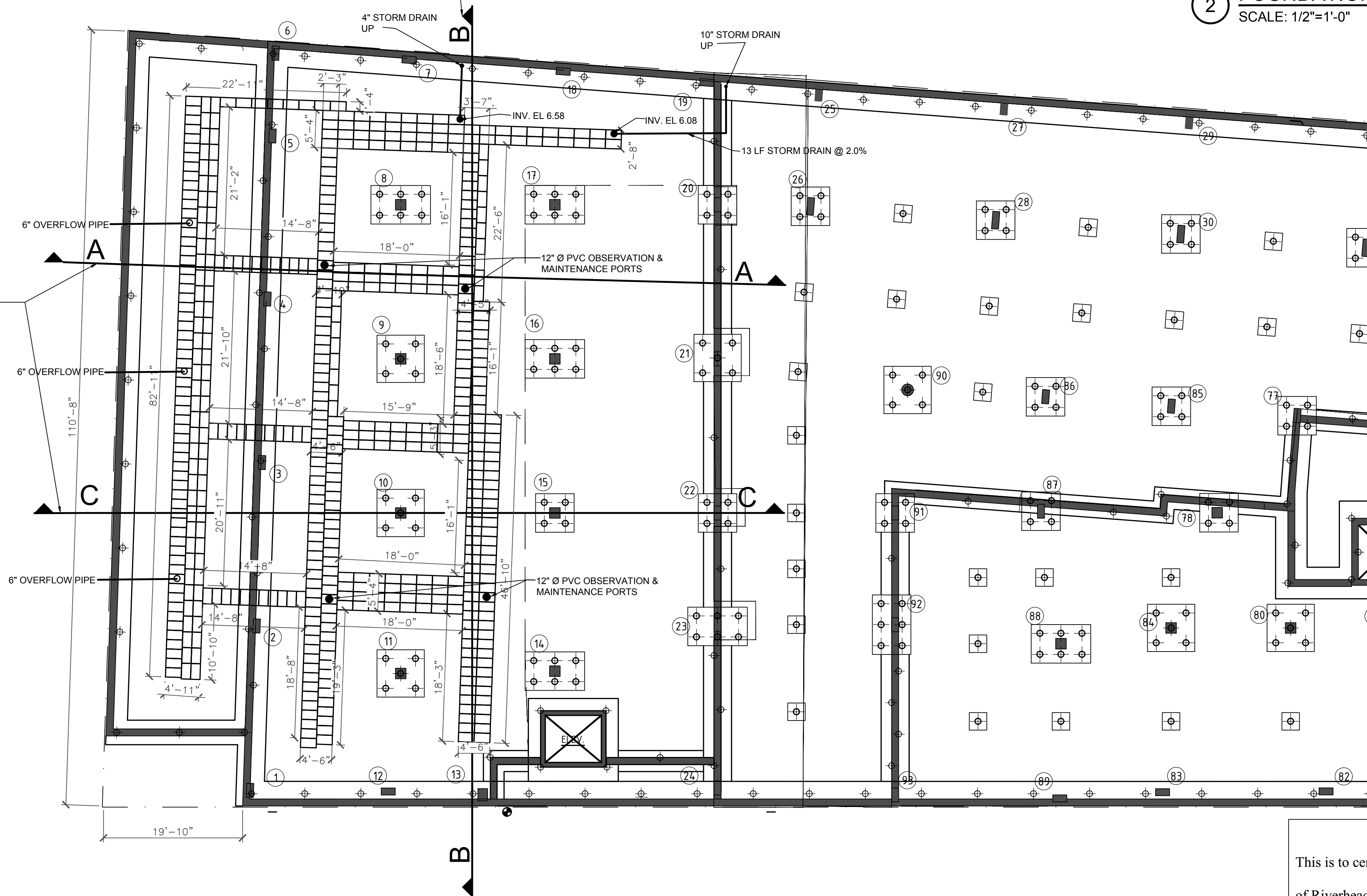
CAD REF:
S/SITE PLAN 4.27.17.dwg

1 DRAINAGE AND UTILITY PLAN

SCALE: 1" = 20'-0"

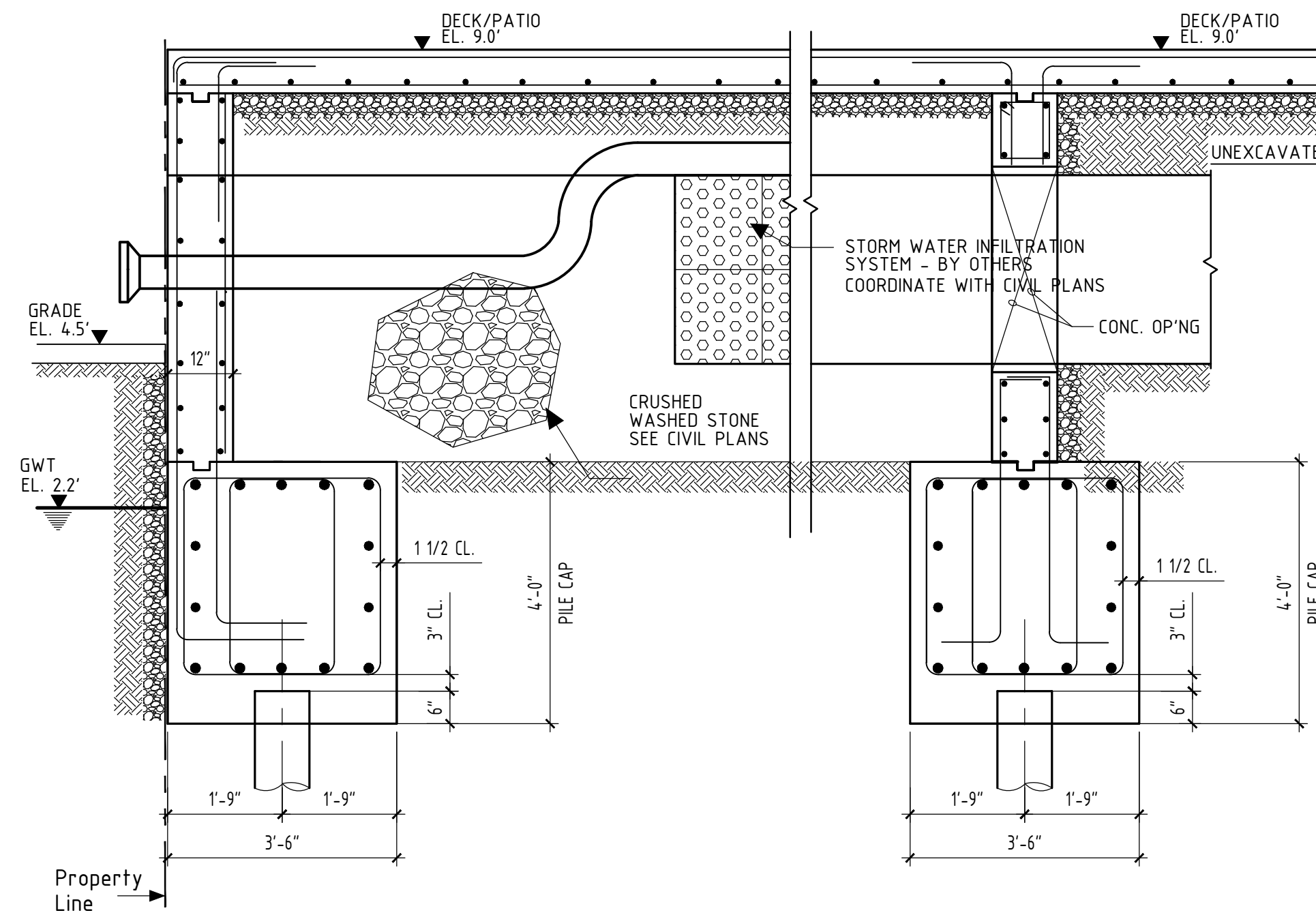


SEE SHEET C-300 FOR CROSS SECTIONS

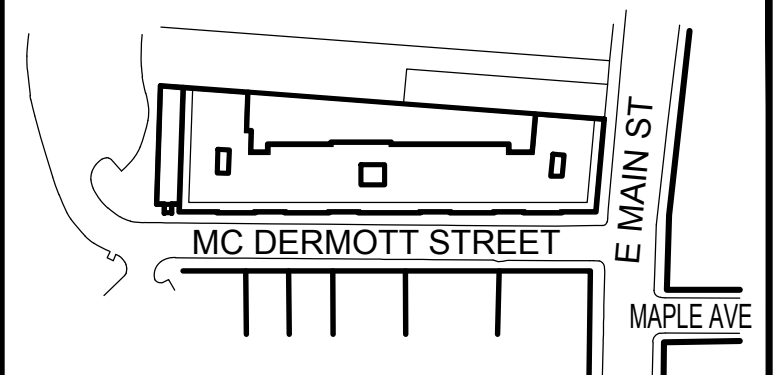


1 RAIN TANK DRAINAGE LAYOUT
SCALE: 1" = 10'-0"

SEE SHEET C-300 FOR CROSS SECTIONS



2 FOUNDATION PROFILE WITH RAIN TANKS
SCALE: 1/2"=1'-0"



KEY PLAN

Architect:
The Stephen B. Jacobs Group, P.C.
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Jericho, New York 11753
(516) 488-3000
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**221 East Main Street
Riverhead, NY**

Drawing Title:

SITE DRAINAGE

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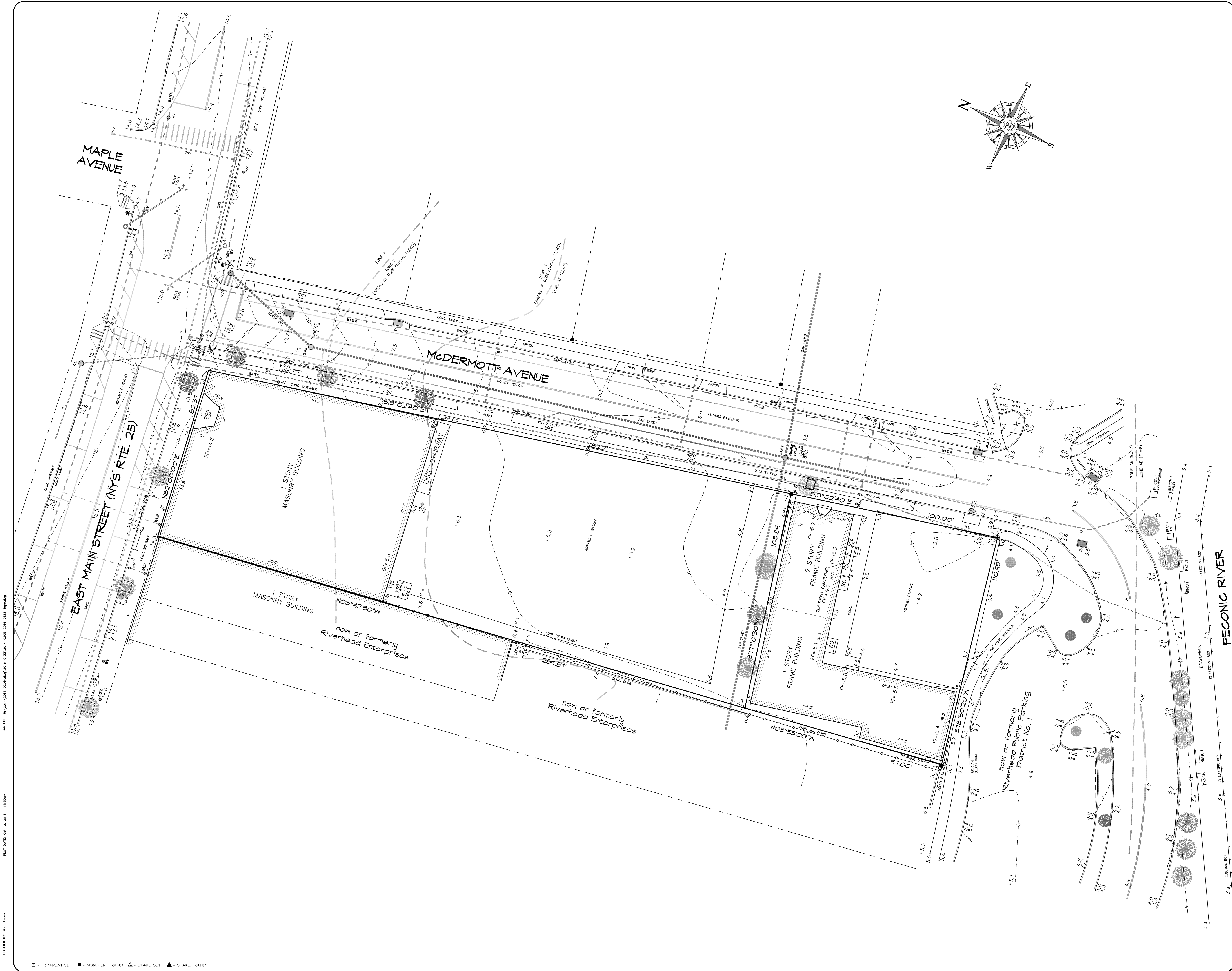
Date of signature _____

SEAL & SIGNATURE: _____

DATE: 11.09.16
PROJECT#: 1617
DRAWING SCALE: AS NOTED
DRAWING NO: _____

C-200.00

CAD REF: _____
6/SITE PLAN 427.17.dwg



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admin@youngelyoung.com

Youngelyoung

Howard W. Young, Land Surveyor
Thomas C. Wolpert, Professional Engineer
Douglas E. Adams, Professional Engineer

Robert C. Taat, Architect

SITE DATA

* S.C.T.M. NO. 600-124-01-21 AREA = 26546 SQ. FT.
* S.C.T.M. NO. 600-124-01-22 AREA = 10570 SQ. FT.

* VERTICAL DATUM = N.A.V.D., 1988

* SEE FLOOD INSURANCE RATE MAP PANEL NO. 26103C0466 H
LAST DATED SEPT. 25, 2004.

SURVEYOR'S CERTIFICATION

* WE HEREBY CERTIFY TO **GEORGICA GREEN VENTURES, LLC** THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

HOWARD W. YOUNG, N.Y.S. L.S. NO. 45843

SURVEY FOR
GEORGICA GREEN VENTURES, LLC
at Riverhead, Town of Riverhead
Suffolk County, New York

TOPOGRAPHICAL SURVEY

County Tax Map District 600 Section 124 Block 01 Lot 22
MAP PREPARED JAN. 05, 2015

REVISION DATE
ADDITIONAL TOPO OCT. 04, 2016

20 0 10 20 40 60
Scale: 1" = 20'

JOB NO. 2016-0193
DWG. 2014_0209_2016_0193_topo 1 OF 1